

Agenda
Aurora Historic Review Board
Thursday, November 17, 2016, at 7:00 P.M.
City Council Chambers, Aurora City Hall
21420 Main Street NE, Aurora, OR 97002

1. CALL TO ORDER OF THE AURORA HISTORIC REVIEW BOARD MEETING

2. CITY RECORDER DOES ROLL CALL

Chair Gayle Abernathy
Member Karen Townsend
Member Mera Frochen
Member Mella Dee Fraser
Member John Berard

3. CONSENT AGENDA

- a) Historic Review Board Minutes, October 2016
- b) City Council Minutes
- c) Planning Commission Minutes

4. CORRESPONDENCE - NA

5. VISITORS

Anyone wishing to address the Aurora Historic Review Board concerning items not already on the meeting agenda may do so in this section. No decision or action will be made, but the Aurora Historic Review Board could look into the matter and provide some response in the future.

6. NEW BUSINESS

- a) Discussion on Project Application 21507 Hwy 99E Gary McLaren Repair/Replace pillars.
- b) Discussion and or Action on 21568 Hwy 99E Aurora colony Pub Project Application for Covered Outdoor Area and Fence.
- c) Discussion and or Action on Project Application for 14635 Kasel Court Kaiser Addition to main floor.

7. OLD BUSINESS

- a) Discussion and or Action on Historic Inventory
- b) Discussion and or Action on Sign Inventory

8. ADJOURN

Minutes
Aurora Historic Review Board Meeting
Thursday, October 27, 2016, at 7:00 P.M.
City Council Chambers, Aurora City Hall
21420 Main Street NE, Aurora, OR 97002

STAFF PRESENT Kelly Richardson, CMC City Recorder

STAFF ABSENT: None

VISITORS PRESENT: NA

CALL TO ORDER OF THE HISTORIC REVIEW BOARD MEETING

The meeting of October 27, 2016 was called to order by Chair Abernathy at 7:02 pm

1. CITY RECORDER DOES ROLL CALL

Chair Gayle Abernathy – Present
Member John Berard - Present
Member Mera Frochen – Present
Member Mella Dee Fraser – Present
Member Karen Townsend - Present

2. CONSENT AGENDA

- a) Historic Review Board Meeting Minutes – August, 2016
- b) City Council Minutes – NA
- c) Planning Commission – NA

A motion to approve the Historic Review Board minutes of August 25, 2016 as presented was made by Member Fraser and is seconded by Member Berard. Passed by all.

CORRESPONDENCE –

- **Grant Reimbursement Letter**, everyone was excited to see their hard work has paid off especially Karen Townsends and Staff.

3. VISITORS

Anyone wishing to address the Historic Review Board concerning items not already on the meeting agenda may do so in this section. No decision or action will be made, but the Historic Review Board could look into the matter and provide some response in the future. No comments were made during this section.

There were no visitors that spoke during this time.

4. NEW BUSINESS

- a) Discussion and or Action on Project Application at 21827 Airport Rd David Martin for New Construction House. Member Townsend ask a few questions as follows;
- Garage setback minimum of 4 feet
 - Width of garage door not to exceed 8 feet
 - Roof pitch not as per code at 8.12
 - Reveal not to exceed 6 inches per code
 - Windows on left elevation need to be horizontal

A motion is made by member Townsend based on current plans and designs submitted for roof pitch, garage setbacks, and garage door width we cannot make recommendation to Planning to approve. Passed by all.

5. OLD BUSINESS

- a) Discussion and or Action on CLG Grant, no discussion

Action: None

There is some concerns regarding 21561 Main Street plastic Aboard.

6. ADJOURN

Chairman Abernathy adjourned the meeting of October 27, 2015 at 7:40 pm.

Gayle Abernathy, Chairman

ATTEST:

Kelly Richardson, CMC
City Recorder

**City of Aurora
HISTORIC REVIEW BOARD
Application for Certificate of Appropriateness**

PROJECT INFORMATION SHEET

IMPORTANT: In order for your application to proceed in a timely basis, this form and the required attachments **MUST** be completed in full. If your application is incomplete, no decision will be made and your request will be delayed. Please turn the complete application in at least **ONE WEEK** prior to the meeting (4th Thursday of each month) so that board members can become familiar with your property and project. It is helpful, but not required, if you can attend the meeting.

You will need to refer to the *City of Aurora Guidelines for Historic District Properties*, which may be obtained from City Hall.

Name Clary McLaren Date 11/1/16
 Business name (if applicable) McLaren Auction Services
 Physical address 21507 Hwy 99E
 Mailing address PO BOX 82 Aurora, OR
 Phone 503-678-2441 email _____
 Type of project(s) List all replacing rotted wood, and then repainting same color.

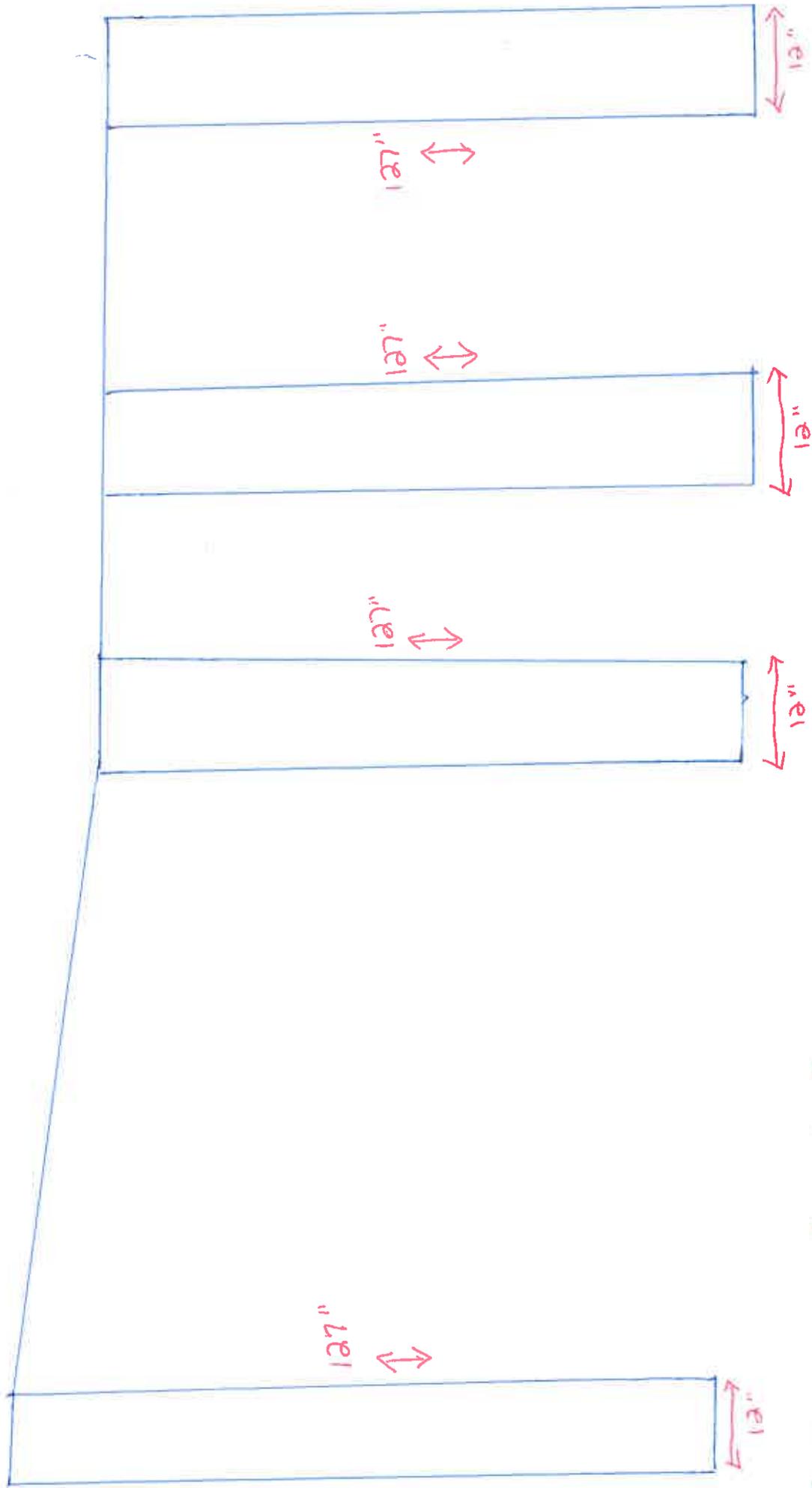
Zoning: Residential Commercial
Type structure: House Commercial Church
Style: Colony Victorian Craftsman
 Ranch Contemporary
 Other (describe) _____

Project specifics:
 Painting: base color _____ mfg/number _____
 trim color white mfg/number _____
 trim color _____ mfg/number _____

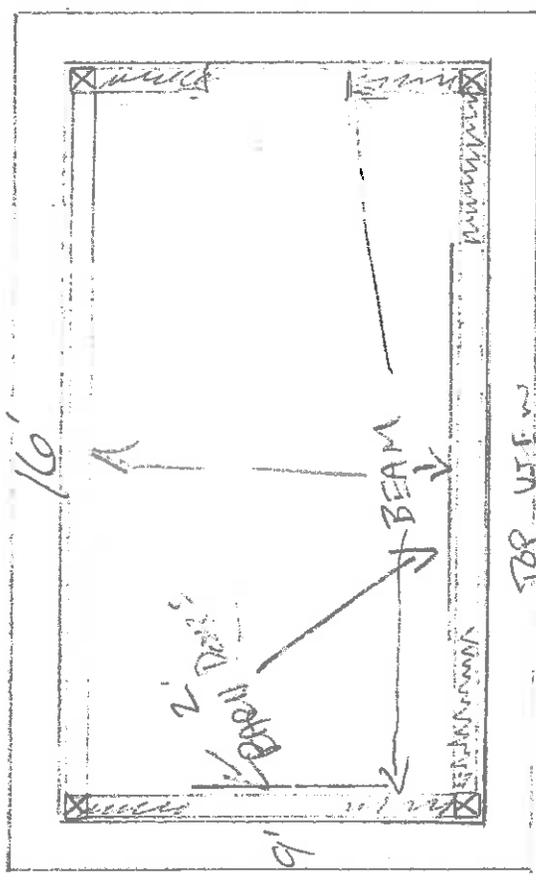
Guidelines used. Item/page(s) _____

Please bring samples of colors you propose to use.

Fencing: Picket Stock Privacy
 Other (describe) _____
 Dimensions: Height _____ Length _____
 Color _____
 Material _____
 Location (as shown on site plan) _____
 Guidelines used: Item/page(s) _____



Reface and Repair front pillars at 21507 Hwy 99E. Pillars will generally look equal to existing pillars and will be painted same white color.

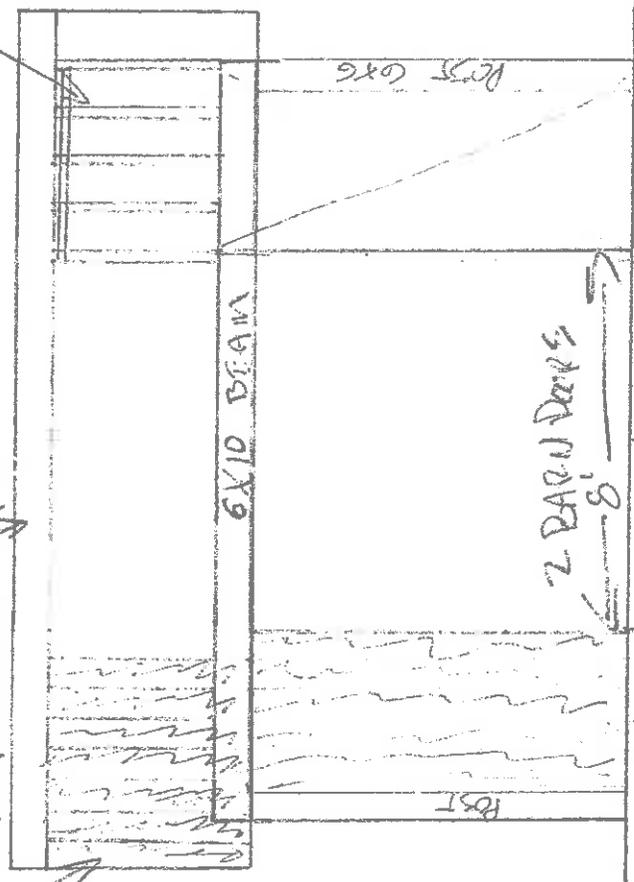


ROOF LANGE
18" OVER HANG

TOP VIEW

VERTICAL POSTS
BEHIND
ROOF

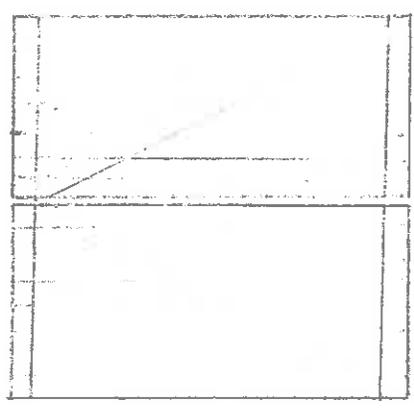
FRAMES



EXISTING CONCRETE
SOUTH VIEW

All Proper Hardware Will Be Used

Post Bases
Beam - Post
Hardware in Beam

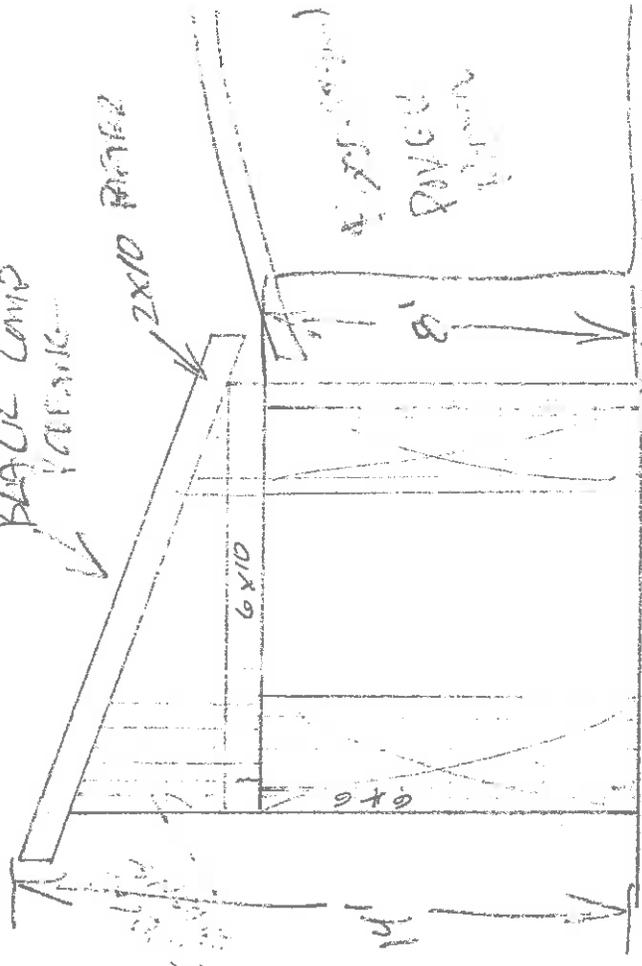


BARN DOOR
STYLE

ON TRACKS

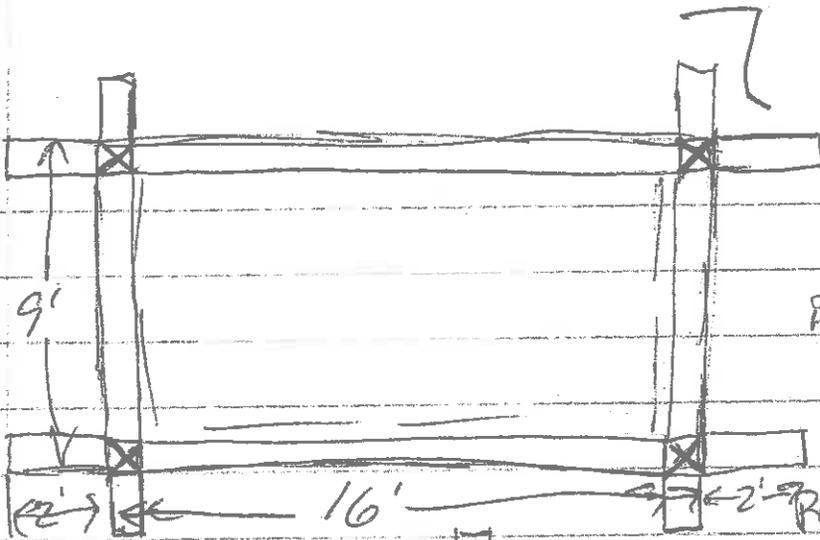
BALANCE
CAMP

STANDARD 1/2
IN. DIA. 1/2
IN. DIA. 1/2
IN. DIA.

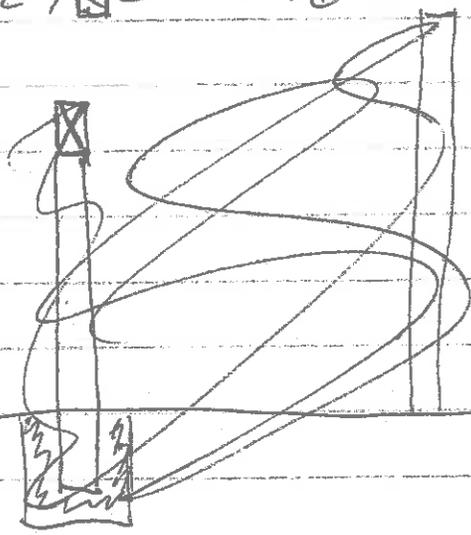


EAST VIEW

X = 1/2 X 10 RAFTER ON EACH CORNER
IN 6 LOCATIONS



- POST 4/12' 6x6 -
- BEAM 2/12' 6x12 -
- " 2/20' 6x12 -



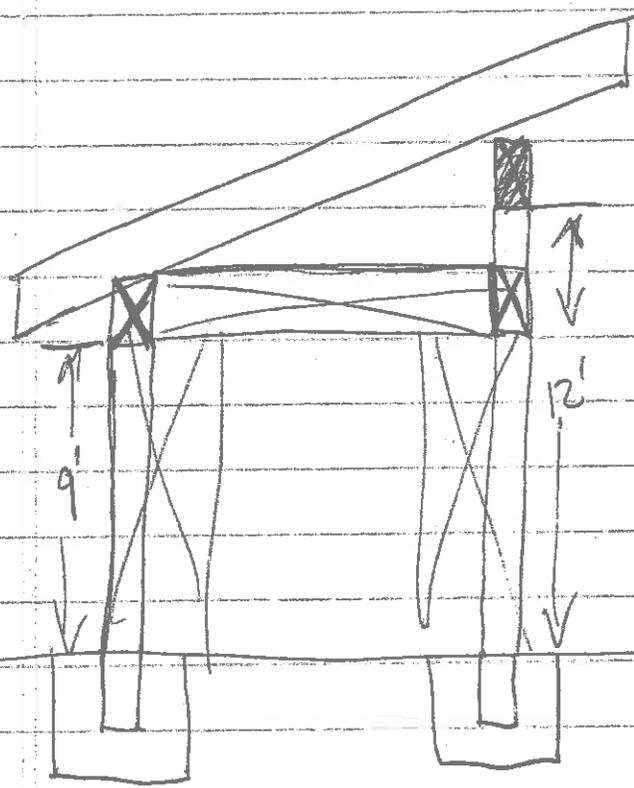
- 16' 2x10x16' -
- 32/11 LIPS -
- 4/POST BASE -
- 4/6x6 POST TO BEAM -
- 4/HUL 6x10 -
- INSIDE FLANGE

20
x 15

105
21

315

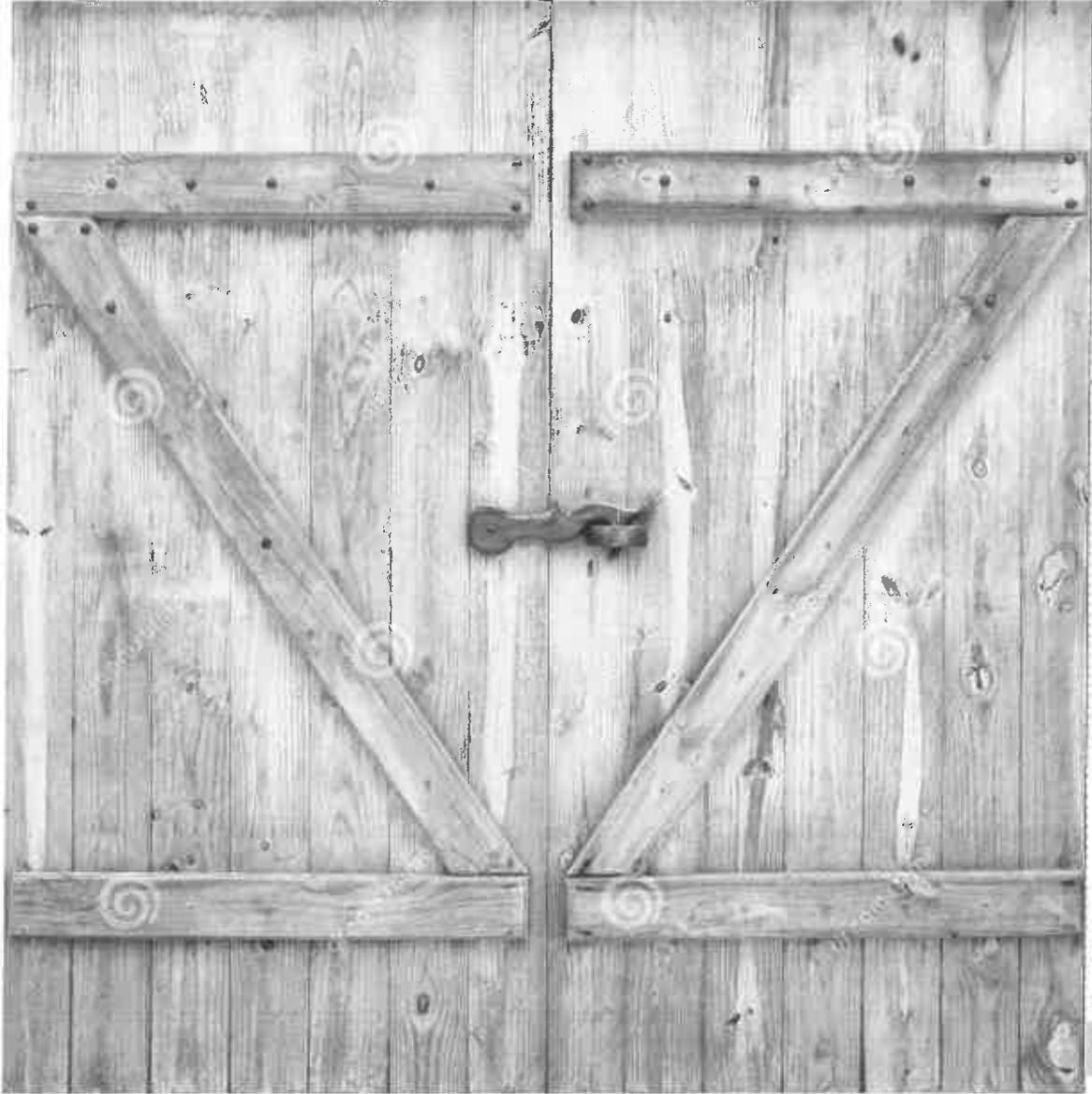
1x6 V GROOVE CAR DECK -
315 SQ. FT



- PLYWOOD 10/1/2" -
- ROOFING 10 BUNDLES -
- FLASHING 6 PLS -
- FASCLA 4/20 -
- CONCRETE 20 PLS -

BARREL DOORS

- 2/10 2/8 TRACK -
- 12/TROLLEYS
- 6/POWER GUIDE
- 6/HANDLES
- 12/TRACK FLANGERS

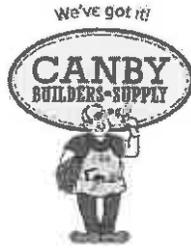


Download from
Dreamstime.com

Buytz1987 | Dreamstime.com



Quotation
828045



CANBY BUILDERS SUPPLY

102 S. Pine St., Canby OR. 97013-4520
Telephone: 503-266-2244 Fax: 503-266-8037
Website: www.canbybuilderssupply.com
Email: sales@canbybuilderssupply.com

Customer: Contractor Sales

Quote Date 10/28/2016 9:00 am

Customer Ref: Corey Barton

Contact Name Andy Stephens

Contact Number: 503-593-6066

Delivery Date On 10/28/2016

Created By: Don S

Special Instructions			Notes			
Line	Product Code	Description	Qty/Footage	Price	Per	Total
1	6612PTS	6X6-12 Browntone Pt Ca-B 4/12	4.0000 ea	1,311.97	mbf	188.92
2	61220D	6X12-20 #2&Btr S-Grn D/F	2.0000 ea	871.00	mbf	209.04
3	6612D	6X6-12' #2 & Btr S-Grn D/F	2.0000 ea	862.00	mbf	62.06
4	21016D	2X10-16' KD-DF	16.0000 ea	565.00	mbf	241.07
5	2616HFCM	2X6-16' Sel Deck T&G Spf 48/16	48.0000 ea	1,075.29	mbf	825.82
6	H2.5AZ	H2.5AZ HurricaneTie Z-Max	38.0000 ea	0.36	ea	13.68
7	ABW66Z	ABW66Z MAX Adj. Post Anchor For 6X6	4.0000 ea	22.83	ea	91.32
8	BC6	BC6 Simpson Post-Beam Connector	4.0000 ea	10.00	ea	40.00
9	HUC612	6X12 Hvy Rvs Fing	4.0000 ea	13.06	ea	52.24
10	12CDX	1/2-4X8 CDX 32/16 4ply (15/32)	10.0000 ea	522.00	msf	167.04
11	30ADB	Iko 30 Yr Architectural Dual Black/3 bdl to sq	10.0000 ea	31.99	ea	319.90
12	112112BL	1-3/8X 1-3/8 Black 10' G- cap	6.0000 ea	3.38	ea	20.28
13	212RWWP	2X12-R/L Primed Whitewood Kd 4/20	80.0000 lf	1,518.63	mbf	242.98
14	CM	Cm60 60lb Concrete Mix .45cuft 4000 psi (56/Pallet)	20.0000 ea	2.99	ea	59.80
15	5141437	10' Barn Door Track Sq	2.0000 ea	38.39	ea	76.78
16	6763569	8' Barn Door Track Sq	2.0000 ea	31.67	ea	63.34
17	7638117	5040 FLEXIBLE HANGER ZN	6.0000 ea	47.99	ea	287.94

Not for Loading Purposes

Total Amount	\$3,114.37
Sales Tax	\$0.00
Quotation Total	\$3,114.37

The prices contained on this document are good through 11/4/2016. Prices listed are for quantities/grades shown on this document. Purchaser is responsible for accuracy of list.

Buyer _____ Date _____

Subject to our terms and conditions of sale. Further copies available on request.



Quotation
828045



CANBY BUILDERS SUPPLY

102 S. Pine St., Canby OR. 97013-4520
Telephone: 503-266-2244 Fax: 503-266-8037
Website: www.canbybuilderssupply.com
Email: sales@canbybuilderssupply.com

Customer: Contractor Sales

Quote Date 10/28/2016 9:00 am

Customer Ref: Corey Barton

Contact Name Andy Stephens

Contact Number 503-593-6066

Delivery Date On 10/28/2016

Created By: Don S

Line	Product Code	Description	Qty/Footage	Price	Per	Total
18	6763486	104331/334 Sngl Boxrail Brackt	12.0000 ea	5.46	ea	65.52
19	3589678	131490 Stay Rollers Hvy Galv	6.0000 ea	10.44	ea	62.64
20	6171359	75-1320 Zinc Door/Drawerpull#3	6.0000 ea	4.00	ea	24.00
	Fence= Treated lumber	4x4x6 2x6x8 2x4x8 Dec. 4x4 topper	9ea 8ea 16ea 9ea			

Not for Loading Purposes

Total Amount	\$3,114.37
Sales Tax	\$0.00
Quotation Total	\$3,114.37

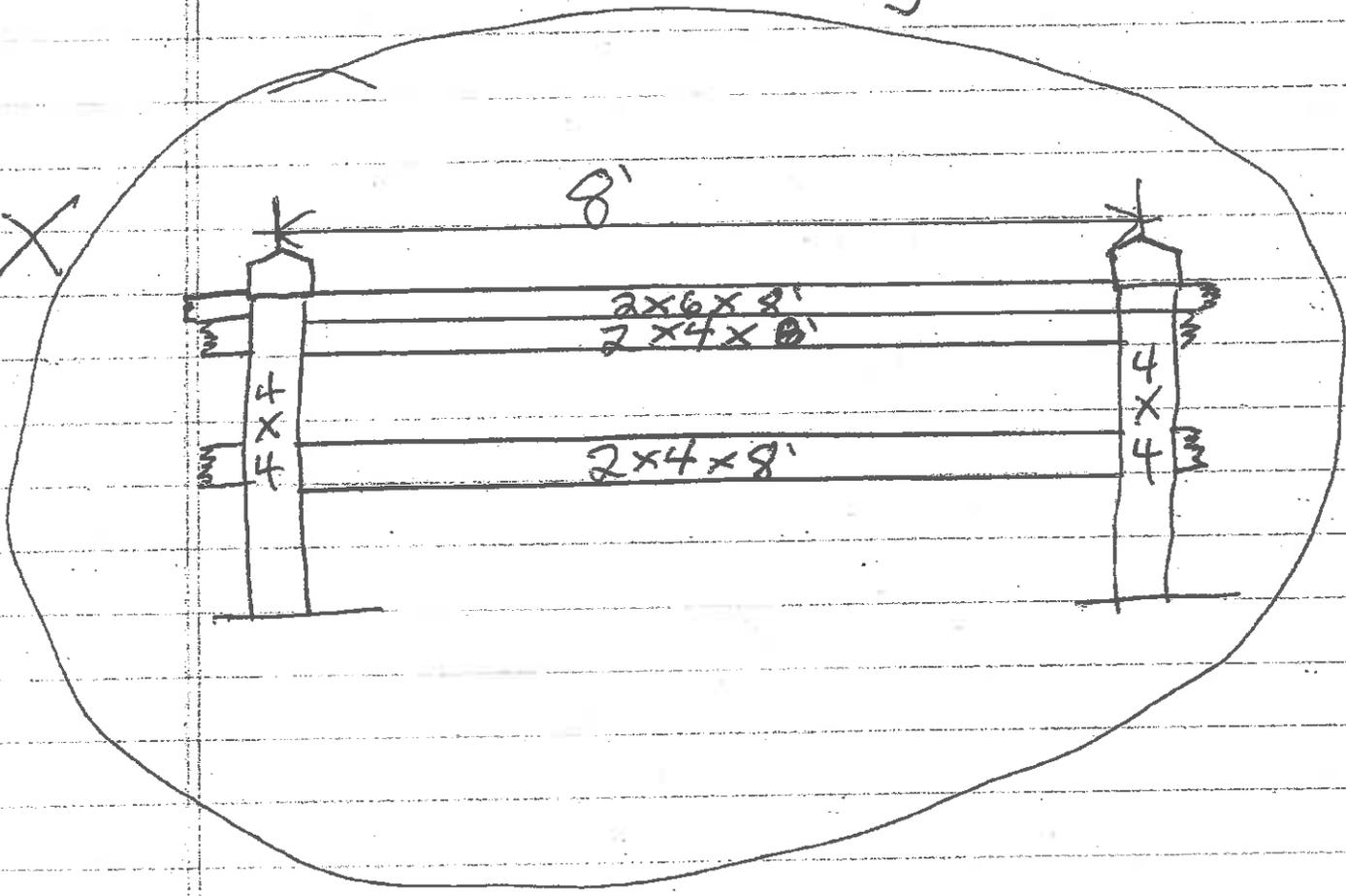
The prices contained on this document are good through 11/4/2016. Prices listed are for quantities/grades shown on this document. Purchaser is responsible for accuracy of list.

Buyer _____ Date _____

Subject to our terms and conditions of sale. Further copies available on request.

Fence/Railing

8x



**City of Aurora
HISTORIC REVIEW BOARD
Application for Certificate of Appropriateness**

Fee paid incl

PROJECT INFORMATION SHEET

IMPORTANT: In order for your application to proceed in a timely basis, this form and the required attachments **MUST** be completed in full. If your application is incomplete, no decision will be made and your request will be delayed. Please turn the complete application in at least **ONE WEEK** prior to the meeting (4th Thursday of each month) so that board members can become familiar with your property and project. It is helpful, but not required, if you can attend the meeting.

You will need to refer to the *City of Aurora Guidelines for Historic District Properties*, which may be obtained from City Hall.

Name Nick Kaiser Date 11-8-16
 Business name (if applicable) _____
 Physical address 14635 Karel CT 503-730-9250
 Mailing address same
 Phone 503 678 1531 email NK Gemini @ CenturyTel.NET
 Type of project(s) List all Adding Bedroom + Bathroom to back of House - 1st Floor

Zoning: Residential Commercial
 Type structure: House Commercial Church
 Style: Colony Victorian Craftsman
 Ranch Contemporary
 Other (describe) _____

Project specifics:
 Painting: base color Same mfg/number _____
 trim color _____ mfg/number _____
 trim color _____ mfg/number _____

Guidelines used. Item/page(s) _____

Please bring samples of colors you propose to use.

Fencing: Picket Stock Privacy
 Other (describe) _____

Dimensions: Height _____ Length _____

Color _____

Material _____

Location (as shown on site plan) _____

Guidelines used: Item/page(s) _____

*Color - Miller
04T-2735 Tan
04T-2730-Green*

Siding - Hardy Plank

White Windows - Vinyl - Same as house.

Roofing: Cedar Shingle Composition
 Other (describe) _____
 Color Same _____ mfg/number _____
(You MUST bring a sample that is sufficiently large to show what the total roof will look like to insure that it appears as a solid color.)
Guidelines used: Item/page(s) _____

Landscape: Plantings _____
 Trees _____
 Tree Removal _____
 Guidelines used: Item/page(s) _____

Other type of project(s): _____

Please note Guidelines used (Item/page(s)) for each separate project listed.

- Attach the following in order for your application to be accepted:
1. Site plan drawn to scale with project location shown.
 2. Elevations, including dimensions.
 3. Photograph of property is helpful but not required.

I have completed the application in full and included the above attachments. I understand that any changes or deviations from the presented materials proposed in this application must be submitted and re-examined by the Historic Review Board for final approval.

11-8-16
Date

Nick Kam
Signature of Applicant



BUILDING PERMIT APPLICATION

DEPARTMENT USE ONLY

Permit No.:
Application Date:
Date Issued & Paid:

Job Address:

Assessor's Map No.

Tax Lot(s)

Lot

Block

Subdivision

Acres

CLASS OF WORK:

New Structure Addition Alteration Garage/Carport Accessory Bldg. Mfg. Home Other

Property Owner (print): Nick Kaiser Phone:

Mailing Address: 14635 Kasel Ct NE City: Aurora State: OR Zip 97002

Contractor (print): Tom Stevens S+L Remodeling Phone: 503-678-2520

Mailing Address: P.O. Box 74 City: Aurora State: OR Zip 97002

Contractor Number: 25629 Oregon CCB

Engineer, Architect or Designer (print): Michael Wellman Phone: 503-873-811

DESCRIPTION OF WORK: Bedroom, Bathroom addition

ESTIMATED FINISHED VALUE: 75,000

NOTICE

This permit is issued under OAR 918-460-0030, 918-780-0060, 918-440-0050. This permit becomes null and void if work is not commenced within 180 days, or if construction or work is suspended for a period of 180 days.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of law and codes governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of

Property Owner Signature: Nick Kaiser Date: 10-24-16

This installation is being made on residential or farm property owned by me or a member of my immediate family and is exempt from licensing requirements under OAR 701.010.

Contractor Signature: S+L Remodeling Thomas B. Stevens Date: 10-24-16

FOR PLANNING DEPARTMENT USE

Zone: Plan Review No. Required Yard Setbacks: Front Side Front/Side Rear

Flood Hazard: Yes No Flood Zone Number of Off-street Parking Spaces Required:

Special Conditions: Approved By: Date:

FOR PUBLIC WORKS DEPARTMENT USE

FOR FIRE DEPARTMENT USE

Easements/Row Access:

Wtr. Mtr. Size Tap B'flowX-conn Fire Protection Equip:

Sewer Special Permit/Monitoring Comments:

Streets/Sidewalks/Curbs:

Storm Drainage:

Comments:

Plans Reviewed By: Date: Plans Approved By: Date:

FOR BUILDING DEPARTMENT USE

Const. Type: Sq. Ft.: Occ. Group: Max. Occ. Load: # of Units: # of Stories: Height:

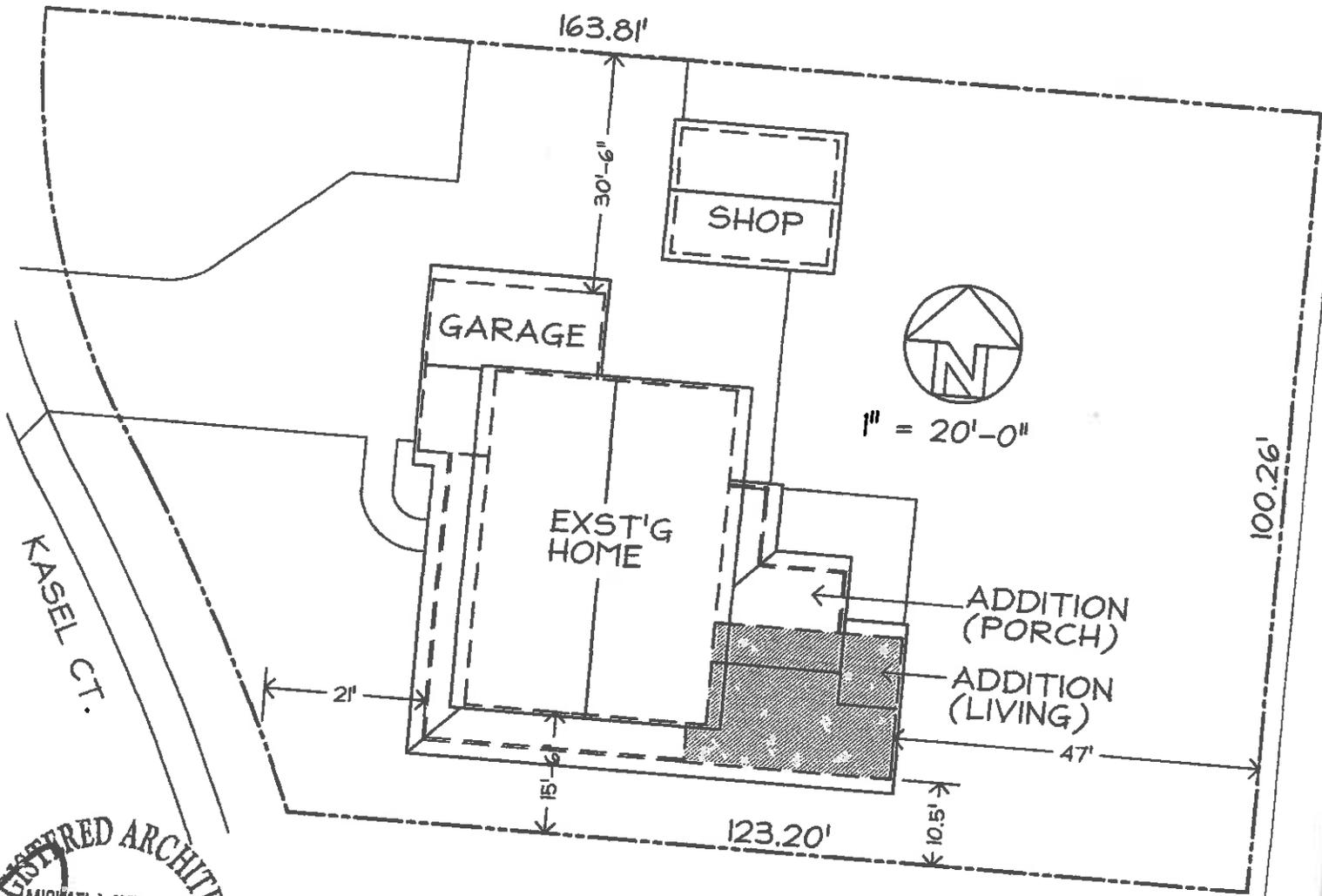
Other Information:

Plan Checked By: Date: Plans Approved By: Date:

BUILDING	PLUMBING	MECHANICAL	TOTAL
-	FEES	FEES	FEES
PLAN CHECK	PLAN CHECK	PLAN CHECK	PLAN CHECK
SURCHARGE	SURCHARGE	SURCHARGE	SURCHARGE
TOTAL	TOTAL	TOTAL	TOTAL

Revised July 2014 Pd OK 2217.00
400.00

North Marion	-
Grand Total	-



I certify that the above information is accurate to the best of my knowledge. I AM THE Owner or Authorized Agent

NAME (please print): Nick Kaiser Telephone #: 503 678 1531

Applicant's Signature: Nick Kaiser Date: 9-29-16

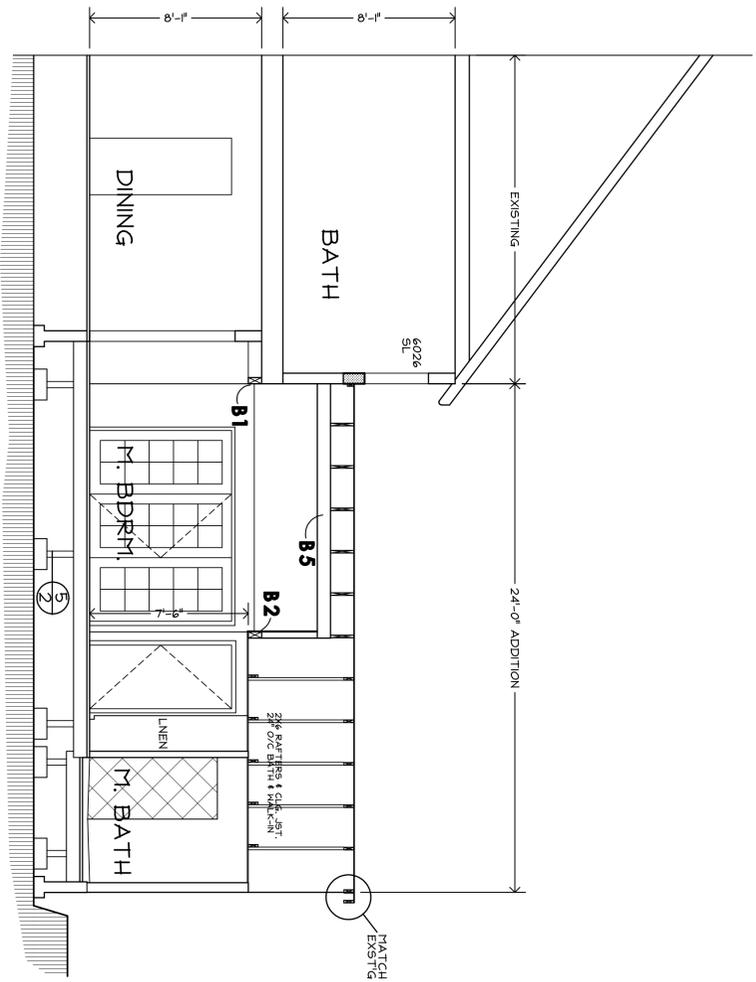
Applicant's Mailing Address: 14635 Kasel Ct City: Aurora Zip: 97002

PLANNING: _____ Date: _____

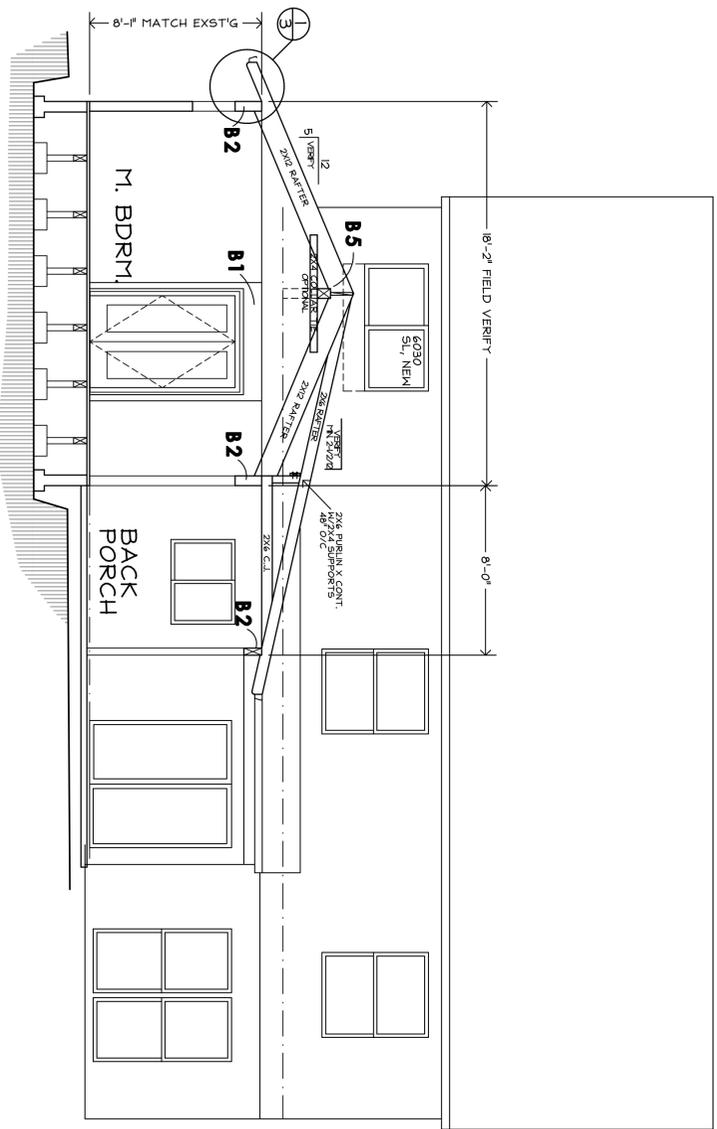
FOR OFFICE USE ONLY

PUBLIC WORKS: _____ Date: _____

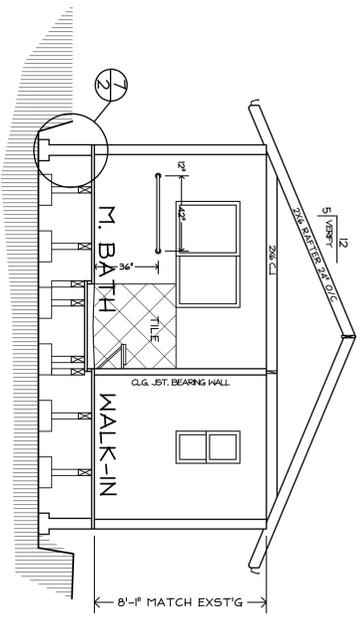
BUILDING INSPECTION (Acceptable for Planning requirements only) Date: _____



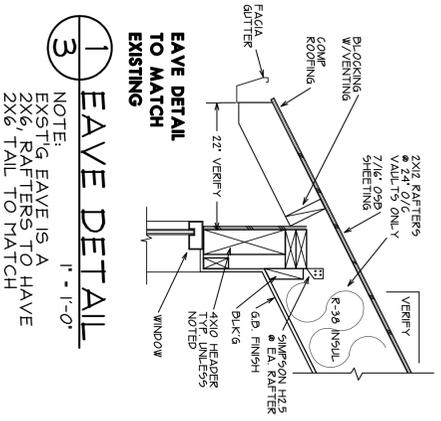
A BUILDING SECTION
1/4" = 1'-0"



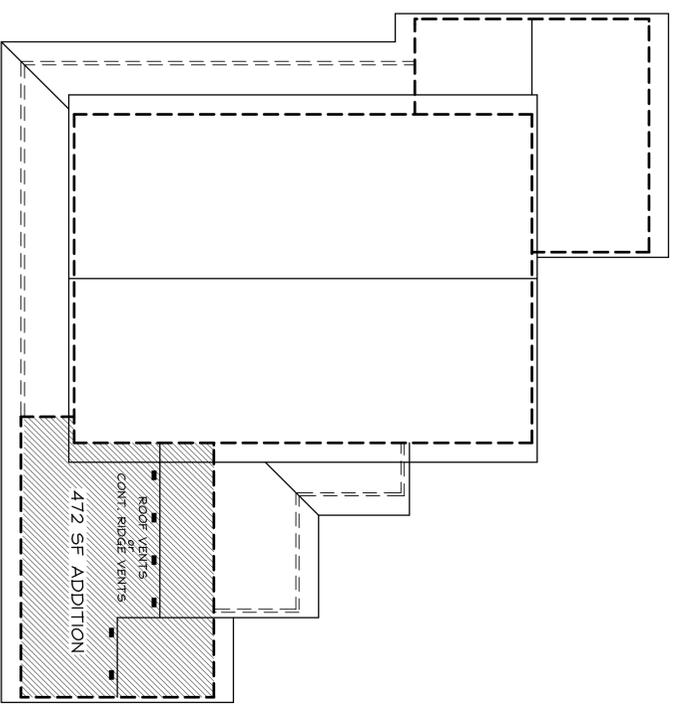
B BUILDING SECTION
1/4" = 1'-0"



C BUILDING SECTION
1/4" = 1'-0"



1 EAVE DETAIL
1" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"

BLow-IN-BLANKET INSULATION SYSTEM USED TO MEET THE U-FACTOR R-01D

ASHRAE methodology	R-Value	Effective Factor	R-Value
INTERIOR STILL AIR	0.681	0.681	0.681
GIPSUM 1/2"	0.45	0.45	0.45
BROWN INSULATION	23.00	75%	17.25
2x6 STUDS - CONVENTIONAL FRAMING	8.89	25%	2.22
VAPOR BARRIER-FELT	0.06	0.06	0.06
Hardie Siding 3/8"	0.17	0.17	0.17
EXTERIOR MOVING AIR	0.17	0.17	0.17
CALCULATED R VALUE			21.12
U-VALUE			0.047



CONCEPTUAL RENDERING

1 EAST ELEVATION
1/4" = 1'-0"

2 SOUTH ELEVATION
1/4" = 1'-0"

3 NORTH ELEVATION
1/4" = 1'-0"

TABLE (NO.2)
ADDITIONAL REQUIRES

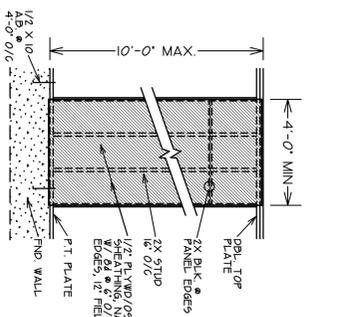
Envelope Enhancement Measure (Select One)
1 High Efficiency Walls & Windows Exterior Walls U-0.047/R-Plus (radiation shielding) / SFG, and one of the following options: - Windows U-0.20 - High Efficiency Envelope Exterior Walls U-0.036/R-2/Intermediate Framing and - Windows U-0.20/R-30/R-30A/R-30B/R-30C/R-30D/R-30E/R-30F/R-30G/R-30H/R-30I/R-30J/R-30K/R-30L/R-30M/R-30N/R-30O/R-30P/R-30Q/R-30R/R-30S/R-30T/R-30U/R-30V/R-30W/R-30X/R-30Y/R-30Z/R-30AA/R-30AB/R-30AC/R-30AD/R-30AE/R-30AF/R-30AG/R-30AH/R-30AI/R-30AJ/R-30AK/R-30AL/R-30AM/R-30AN/R-30AO/R-30AP/R-30AQ/R-30AR/R-30AS/R-30AT/R-30AU/R-30AV/R-30AW/R-30AX/R-30AY/R-30AZ/R-30BA/R-30BB/R-30BC/R-30BD/R-30BE/R-30BF/R-30BG/R-30BH/R-30BI/R-30BJ/R-30BK/R-30BL/R-30BM/R-30BN/R-30BO/R-30BP/R-30BQ/R-30BR/R-30BS/R-30BT/R-30BU/R-30BV/R-30BW/R-30BX/R-30BY/R-30BZ/R-30CA/R-30CB/R-30CC/R-30CD/R-30CE/R-30CF/R-30CG/R-30CH/R-30CI/R-30CJ/R-30CK/R-30CL/R-30CM/R-30CN/R-30CO/R-30CP/R-30CQ/R-30CR/R-30CS/R-30CT/R-30CU/R-30CV/R-30CW/R-30CX/R-30CY/R-30CZ/R-30DA/R-30DB/R-30DC/R-30DD/R-30DE/R-30DF/R-30DG/R-30DH/R-30DI/R-30DJ/R-30DK/R-30DL/R-30DM/R-30DN/R-30DO/R-30DP/R-30DQ/R-30DR/R-30DS/R-30DT/R-30DU/R-30DV/R-30DW/R-30DX/R-30DY/R-30DZ/R-30EA/R-30EB/R-30EC/R-30ED/R-30EE/R-30EF/R-30EG/R-30EH/R-30EI/R-30EJ/R-30EK/R-30EL/R-30EM/R-30EN/R-30EO/R-30EP/R-30EQ/R-30ER/R-30ES/R-30ET/R-30EU/R-30EV/R-30EW/R-30EX/R-30EY/R-30EZ/R-30FA/R-30FB/R-30FC/R-30FD/R-30FE/F-30FF/F-30FG/F-30FH/F-30FI/F-30FJ/F-30FK/F-30FL/F-30FM/F-30FN/F-30FO/F-30FP/F-30FQ/F-30FR/F-30FS/F-30FT/F-30FU/F-30FV/F-30FW/F-30FX/F-30FY/F-30FZ/R-30GA/R-30GB/R-30GC/R-30GD/R-30GE/R-30GF/R-30GG/R-30GH/R-30GI/R-30GJ/R-30GK/R-30GL/R-30GM/R-30GN/R-30GO/R-30GP/R-30GQ/R-30GR/R-30GS/R-30GT/R-30GU/R-30GV/R-30GW/R-30GX/R-30GY/R-30GZ/R-30HA/R-30HB/R-30HC/R-30HD/R-30HE/R-30HF/R-30HG/R-30HI/R-30HJ/R-30HK/R-30HL/R-30HM/R-30HN/R-30HO/R-30HP/R-30HQ/R-30HR/R-30HS/R-30HT/R-30HU/R-30HV/R-30HW/R-30HX/R-30HY/R-30HZ/R-30IA/R-30IB/R-30IC/R-30ID/R-30IE/R-30IF/R-30IG/R-30IH/R-30II/R-30IJ/R-30IK/R-30IL/R-30IM/R-30IN/R-30IO/R-30IP/R-30IQ/R-30IR/R-30IS/R-30IT/R-30IU/R-30IV/R-30IW/R-30IX/R-30IY/R-30IZ/R-30JA/R-30JB/R-30JC/R-30JD/R-30JE/R-30JF/R-30JG/R-30JH/R-30JI/R-30JJ/R-30JK/R-30JL/R-30JM/R-30JN/R-30JO/R-30JP/R-30JQ/R-30JR/R-30JS/R-30JT/R-30JU/R-30JV/R-30JW/R-30JX/R-30JY/R-30JZ/R-30KA/R-30KB/R-30KC/R-30KD/R-30KE/R-30KF/R-30KG/R-30KH/R-30KI/R-30KJ/R-30KK/R-30KL/R-30KM/R-30KN/R-30KO/R-30KP/R-30KQ/R-30KR/R-30KS/R-30KT/R-30KU/R-30KV/R-30KW/R-30KX/R-30KY/R-30KZ/R-30LA/R-30LB/L-30LC/L-30LD/L-30LE/L-30LF/L-30LG/L-30LH/L-30LI/L-30LJ/L-30LK/L-30LL/L-30LM/L-30LN/L-30LO/L-30LP/L-30LQ/L-30LR/L-30LS/L-30LT/L-30LU/L-30LV/L-30LW/L-30LX/L-30LY/L-30LZ/R-30MA/R-30MB/R-30MC/R-30MD/R-30ME/R-30MF/R-30MG/R-30MH/R-30MI/R-30MJ/R-30MK/R-30ML/R-30MN/R-30MO/R-30MP/R-30MQ/R-30MR/R-30MS/R-30MT/R-30MU/R-30MV/R-30MW/R-30MX/R-30MY/R-30MZ/R-30NA/R-30NB/R-30NC/R-30ND/R-30NE/R-30NF/R-30NG/R-30NH/R-30NI/R-30NJ/R-30NK/R-30NL/R-30NM/R-30NO/R-30NP/R-30NQ/R-30NR/R-30NS/R-30NT/R-30NU/R-30NV/R-30NW/R-30NX/R-30NY/R-30NZ/R-30OA/R-30OB/O-30OC/O-30OD/O-30OE/O-30OF/O-30OG/O-30OH/O-30OI/O-30OJ/O-30OK/O-30OL/O-30OM/O-30ON/O-30OO/O-30OP/O-30OQ/O-30OR/O-30OS/O-30OT/O-30OU/O-30OV/O-30OW/O-30OX/O-30OY/O-30OZ/R-30PA/R-30PB/R-30PC/R-30PD/R-30PE/R-30PF/R-30PG/R-30PH/R-30PI/R-30PJ/R-30PK/R-30PL/R-30PM/R-30PN/R-30PO/R-30PP/R-30PQ/R-30PR/R-30PS/R-30PT/R-30PU/R-30PV/R-30PW/R-30PX/R-30PY/R-30PZ/R-30QA/R-30QB/Q-30QC/Q-30QD/Q-30QE/Q-30QF/Q-30QG/Q-30QH/Q-30QI/Q-30QJ/Q-30QK/Q-30QL/Q-30QM/Q-30QN/Q-30QO/Q-30QP/Q-30QQ/Q-30QR/Q-30QS/Q-30QT/Q-30QU/Q-30QV/Q-30QW/Q-30QX/Q-30QY/Q-30QZ/R-30RA/R-30RB/R-30RC/R-30RD/R-30RE/R-30RF/R-30RG/R-30RH/R-30RI/R-30RJ/R-30RK/R-30RL/R-30RM/R-30RN/R-30RO/R-30RP/R-30RQ/R-30RR/R-30RS/R-30RT/R-30RU/R-30RV/R-30RW/R-30RX/R-30RY/R-30RZ/R-30SA/R-30SB/S-30SC/S-30SD/S-30SE/S-30SF/S-30SG/S-30SH/S-30SI/S-30SJ/S-30SK/S-30SL/S-30SM/S-30SN/S-30SO/S-30SP/S-30SQ/S-30SR/S-30SS/S-30ST/S-30SU/S-30SV/S-30SW/S-30SX/S-30SY/S-30SZ/R-30TA/R-30TB/T-30TC/T-30TD/T-30TE/T-30TF/T-30TG/T-30TH/T-30TI/T-30TJ/T-30TK/T-30TL/T-30TM/T-30TN/T-30TO/T-30TP/T-30TQ/T-30TR/T-30TS/T-30TT/T-30TU/T-30TV/T-30TW/T-30TX/T-30TY/T-30TZ/R-30UA/R-30UB/U-30UC/U-30UD/U-30UE/U-30UF/U-30UG/U-30UH/U-30UI/U-30UJ/U-30UK/U-30UL/U-30UM/U-30UN/U-30UO/U-30UP/U-30UQ/U-30UR/U-30US/U-30UT/U-30UU/U-30UV/U-30UW/U-30UX/U-30UY/U-30UZ/R-30VA/R-30VB/V-30VC/V-30VD/V-30VE/V-30VF/V-30VG/V-30VH/V-30VI/V-30VJ/V-30VK/V-30VL/V-30VM/V-30VN/V-30VO/V-30VP/V-30VQ/V-30VR/V-30VS/V-30VT/V-30VU/V-30VV/V-30VW/V-30VX/V-30VY/V-30VZ/R-30WA/R-30WB/W-30WC/W-30WD/W-30WE/W-30WF/W-30WG/W-30WH/W-30WI/W-30WJ/W-30WK/W-30WL/W-30WM/W-30WN/W-30WO/W-30WP/W-30WQ/W-30WR/W-30WS/W-30WT/W-30WU/W-30WV/W-30WW/W-30WX/W-30WY/W-30WZ/R-30XA/R-30XB/X-30XC/X-30XD/X-30XE/X-30XF/X-30XG/X-30XH/X-30XI/X-30XJ/X-30XK/X-30XL/X-30XM/X-30XN/X-30XO/X-30XP/X-30XQ/X-30XR/X-30XS/X-30XT/X-30XU/X-30XV/X-30XW/X-30XX/X-30XY/X-30XZ/R-30YA/R-30YB/Y-30YC/Y-30YD/Y-30YE/Y-30YF/Y-30YG/Y-30YH/Y-30YI/Y-30YJ/Y-30YK/Y-30YL/Y-30YM/Y-30YN/Y-30YO/Y-30YP/Y-30YQ/Y-30YR/Y-30YS/Y-30YT/Y-30YU/Y-30YV/Y-30YW/Y-30YX/Y-30YY/Y-30YZ/R-30ZA/R-30ZB/Z-30ZC/Z-30ZD/Z-30ZE/Z-30ZF/Z-30ZG/Z-30ZH/Z-30ZI/Z-30ZJ/Z-30ZK/Z-30ZL/Z-30ZM/Z-30ZN/Z-30ZO/Z-30ZP/Z-30ZQ/Z-30ZR/Z-30ZS/Z-30ZT/Z-30ZU/Z-30ZV/Z-30ZW/Z-30ZX/Z-30ZY/Z-30ZZ
2 High Efficiency Ceiling, Windows & Duct Sealing Ceiling U-0.020/R-30/R-30A/R-30B/R-30C/R-30D/R-30E/R-30F/R-30G/R-30H/R-30I/R-30J/R-30K/R-30L/R-30M/R-30N/R-30O/R-30P/R-30Q/R-30R/R-30S/R-30T/R-30U/R-30V/R-30W/R-30X/R-30Y/R-30Z/R-30AA/R-30AB/R-30AC/R-30AD/R-30AE/R-30AF/R-30AG/R-30AH/R-30AI/R-30AJ/R-30AK/R-30AL/R-30AM/R-30AN/R-30AO/R-30AP/R-30AQ/R-30AR/R-30AS/R-30AT/R-30AU/R-30AV/R-30AW/R-30AX/R-30AY/R-30AZ/R-30BA/R-30BB/R-30BC/R-30BD/R-30BE/R-30BF/R-30BG/R-30BH/R-30BI/R-30BJ/R-30BK/R-30BL/R-30BM/R-30BN/R-30BO/R-30BP/R-30BQ/R-30BR/R-30BS/R-30BT/R-30BU/R-30BV/R-30BW/R-30BX/R-30BY/R-30BZ/R-30CA/R-30CB/R-30CC/R-30CD/R-30CE/R-30CF/R-30CG/R-30CH/R-30CI/R-30CJ/R-30CK/R-30CL/R-30CM/R-30CN/R-30CO/R-30CP/R-30CQ/R-30CR/R-30CS/R-30CT/R-30CU/R-30CV/R-30CW/R-30CX/R-30CY/R-30CZ/R-30DA/R-30DB/R-30DC/R-30DD/R-30DE/R-30DF/R-30DG/R-30DH/R-30DI/R-30DJ/R-30DK/R-30DL/R-30DM/R-30DN/R-30DO/R-30DP/R-30DQ/R-30DR/R-30DS/R-30DT/R-30DU/R-30DV/R-30DW/R-30DX/R-30DY/R-30DZ/R-30EA/R-30EB/R-30EC/R-30ED/R-30EE/R-30EF/R-30EG/R-30EH/R-30EI/R-30EJ/R-30EK/R-30EL/R-30EM/R-30EN/R-30EO/R-30EP/R-30EQ/R-30ER/R-30ES/R-30ET/R-30EU/R-30EV/R-30EW/R-30EX/R-30EY/R-30EZ/R-30FA/R-30FB/R-30FC/R-30FD/R-30FE/F-30FF/F-30FG/F-30FH/F-30FI/F-30FJ/F-30FK/F-30FL/F-30FM/F-30FN/F-30FO/F-30FP/F-30FQ/F-30FR/F-30FS/F-30FT/F-30FU/F-30FV/F-30FW/F-30FX/F-30FY/F-30FZ/R-30GA/R-30GB/R-30GC/R-30GD/R-30GE/E-30GF/E-30GG/E-30GH/E-30GI/E-30GJ/E-30GK/E-30GL/E-30GM/E-30GN/E-30GO/E-30GP/E-30GQ/E-30GR/E-30GS/E-30GT/E-30GU/E-30GV/E-30GW/E-30GX/E-30GY/E-30GZ/R-30HA/R-30HB/H-30HC/H-30HD/H-30HE/H-30HF/H-30HG/H-30HI/H-30HJ/H-30HK/H-30HL/H-30HM/H-30HN/H-30HO/H-30HP/H-30HQ/H-30HR/H-30HS/H-30HT/H-30HU/H-30HV/H-30HW/H-30HX/H-30HY/H-30HZ/R-30IA/R-30IB/I-30IC/I-30ID/I-30IE/I-30IF/I-30IG/I-30IH/I-30II/I-30IJ/I-30IK/I-30IL/I-30IM/I-30IN/I-30IO/I-30IP/I-30IQ/I-30IR/I-30IS/I-30IT/I-30IU/I-30IV/I-30IW/I-30IX/I-30IY/I-30IZ/R-30JA/R-30JB/J-30JC/J-30JD/J-30JE/J-30JF/J-30JG/J-30JH/J-30JI/J-30JJ/J-30JK/J-30JL/J-30JM/J-30JN/J-30JO/J-30JP/J-30JQ/J-30JR/J-30JS/J-30JT/J-30JU/J-30JV/J-30JW/J-30JX/J-30JY/J-30JZ/R-30KA/R-30KB/K-30KC/K-30KD/K-30KE/K-30KF/K-30KG/K-30KH/K-30KI/K-30KJ/K-30KL/K-30KM/K-30KN/K-30KO/K-30KP/K-30KQ/K-30KR/K-30KS/K-30KT/K-30KU/K-30KV/K-30KW/K-30KX/K-30KY/K-30KZ/R-30LA/R-30LB/L-30LC/L-30LD/L-30LE/L-30LF/L-30LG/L-30LH/L-30LI/L-30LJ/L-30LK/L-30LM/L-30LN/L-30LO/L-30LP/L-30LQ/L-30LR/L-30LS/L-30LT/L-30LU/L-30LV/L-30LW/L-30LX/L-30LY/L-30LZ/R-30MA/R-30MB/M-30MC/M-30MD/M-30ME/M-30MF/M-30MG/M-30MH/M-30MI/M-30MJ/M-30MK/M-30ML/M-30MN/M-30MO/M-30MP/M-30MQ/M-30MR/M-30MS/M-30MT/M-30MU/M-30MV/M-30MW/M-30MX/M-30MY/M-30MZ/R-30NA/R-30NB/N-30NC/N-30ND/N-30NE/N-30NF/N-30NG/N-30NH/N-30NI/N-30NJ/N-30NK/N-30NL/N-30NM/N-30NO/N-30NP/N-30NQ/N-30NR/N-30NS/N-30NT/N-30NU/N-30NV/N-30NW/N-30NX/N-30NY/N-30NZ/R-30OA/R-30OB/O-30OC/O-30OD/O-30OE/O-30OF/O-30OG/O-30OH/O-30OI/O-30OJ/O-30OK/O-30OL/O-30OM/O-30ON/O-30OO/O-30OP/O-30OQ/O-30OR/O-30OS/O-30OT/O-30OU/O-30OV/O-30OW/O-30OX/O-30OY/O-30OZ/R-30PA/R-30PB/P-30PC/P-30PD/P-30PE/P-30PF/P-30PG/P-30PH/P-30PI/P-30PJ/P-30PK/P-30PL/P-30PM/P-30PN/P-30PO/P-30PP/P-30PQ/P-30PR/P-30PS/P-30PT/P-30PU/P-30PV/P-30PW/P-30PX/P-30PY/P-30PZ/R-30QA/R-30QB/Q-30QC/Q-30QD/Q-30QE/Q-30QF/Q-30QG/Q-30QH/Q-30QI/Q-30QJ/Q-30QK/Q-30QL/Q-30QM/Q-30QN/Q-30QO/Q-30QP/Q-30QQ/Q-30QR/Q-30QS/Q-30QT/Q-30QU/Q-30QV/Q-30QW/Q-30QX/Q-30QY/Q-30QZ/R-30RA/R-30RB/R-30RC/R-30RD/R-30RE/R-30RF/R-30RG/R-30RH/R-30RI/R-30RJ/R-30RK/R-30RL/R-30RM/R-30RN/R-30RO/R-30RP/R-30RQ/R-30RR/R-30RS/R-30RT/R-30RU/R-30RV/R-30RW/R-30RX/R-30RY/R-30RZ/R-30SA/R-30SB/S-30SC/S-30SD/S-30SE/S-30SF/S-30SG/S-30SH/S-30SI/S-30SJ/S-30SK/S-30SL/S-30SM/S-30SN/S-30SO/S-30SP/S-30SQ/S-30SR/S-30SS/S-30ST/S-30SU/S-30SV/S-30SW/S-30SX/S-30SY/S-30SZ/R-30TA/R-30TB/T-30TC/T-30TD/T-30TE/T-30TF/T-30TG/T-30TH/T-30TI/T-30TJ/T-30TK/T-30TL/T-30TM/T-30TN/T-30TO/T-30TP/T-30TQ/T-30TR/T-30TS/T-30TT/T-30TU/T-30TV/T-30TW/T-30TX/T-30TY/T-30TZ/R-30UA/R-30UB/U-30UC/U-30UD/U-30UE/U-30UF/U-30UG/U-30UH/U-30UI/U-30UJ/U-30UK/U-30UL/U-30UM/U-30UN/U-30UO/U-30UP/U-30UQ/U-30UR/U-30US/U-30UT/U-30UU/U-30UV/U-30UW/U-30UX/U-30UY/U-30UZ/R-30VA/R-30VB/V-30VC/V-30VD/V-30VE/V-30VF/V-30VG/V-30VH/V-30VI/V-30VJ/V-30VK/V-30VL/V-30VM/V-30VN/V-30VO/V-30VP/V-30VQ/V-30VR/V-30VS/V-30VT/V-30VU/V-30VV/V-30VW/V-30VX/V-30VY/V-30VZ/R-30WA/R-30WB/W-30WC/W-30WD/W-30WE/W-30WF/W-30WG/W-30WH/W-30WI/W-30WJ/W-30WK/W-30WL/W-30WM/W-30WN/W-30WO/W-30WP/W-30WQ/W-30WR/W-30WS/W-30WT/W-30WU/W-30WV/W-30WW/W-30WX/W-30WY/W-30WZ/R-30XA/R-30XB/X-30XC/X-30XD/X-30XE/X-30XF/X-30XG/X-30XH/X-30XI/X-30XJ/X-30XK/X-30XL/X-30XM/X-30XN/X-30XO/X-30XP/X-30XQ/X-30XR/X-30XS/X-30XT/X-30XU/X-30XV/X-30XW/X-30XX/X-30XY/X-30XZ/R-30YA/R-30YB/Y-30YC/Y-30YD/Y-30YE/Y-30YF/Y-30YG/Y-30YH/Y-30YI/Y-30YJ/Y-30YK/Y-30YL/Y-30YM/Y-30YN/Y-30YO/Y-30YP/Y-30YQ/Y-30YR/Y-30YS/Y-30YT/Y-30YU/Y-30YV/Y-30YW/Y-30YX/Y-30YY/Y-30YZ/R-30ZA/R-30ZB/Z-30ZC/Z-30ZD/Z-30ZE/Z-30ZF/Z-30ZG/Z-30ZH/Z-30ZI/Z-30ZJ/Z-30ZK/Z-30ZL/Z-30ZM/Z-30ZN/Z-30ZO/Z-30ZP/Z-30ZQ/Z-30ZR/Z-30ZS/Z-30ZT/Z-30ZU/Z-30ZV/Z-30ZW/Z-30ZX/Z-30ZY/Z-30ZZ
3 High Efficiency Thermal Envelope UA Processed UA is 85% lower than the Code UA when calculated in Table (NO.1)
4 High Efficiency Thermal Envelope UA Processed UA is 85% lower than the Code UA when calculated in Table (NO.1)
5 Balancing Tightness Testing, Ventilation and Duct Sealing A mechanical exhaust, supply or combination system providing whole-building ventilation rates specified in Table (NO.1) shall be installed. The ducting shall be tested with a blower door and found to exhibit no more than 1.60 air changes per hour ² or 2.50 air changes per hour ² when tested with Conservation Measure E, and Performance tested duct systems

Conservation Measure (Select One)
A High Efficiency HVAC Systems Gas-fired furnace or boiler with minimum AFUE of 90% or Air-source heat pump with minimum SEER of 85 or Ducted HVAC Systems with Conditioned Spaces All ducts and/or transfer are contained within the building envelope ¹
B Ducted HVAC Systems with Conditioned Spaces Resistor electric resistance heating in at least the primary zone of dwelling with at least one ductless split-system heat pump having a minimum SEER of 85. Unit shall not have integrated backup resistance heat and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design load, less noise at outdoor design temperature condition. Conventional electric resistance heating may be provided for any zone that is not served by a ductless split-system heat pump. The ductless split-system heat pump shall be sized to meet the design load when no supplemental duct heaters are installed in the building and integrated backup resistance heat is not provided in a PTHP.
C High Efficiency Window, Heating and Lighting Natural gas ² propane, on-demand water heating with minimum EF of 0.80, and A minimum 75% of permanently installed lighting fixtures as CFL or their equivalent, or a minimum efficacy of 40 lumens per watt, as specified in Section (NO.2)
D

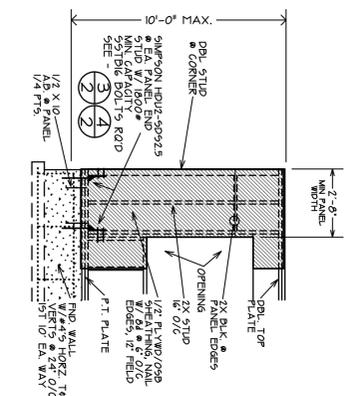
**TABLE (NO.1)
RESCRIPTIVE ENVELOPE REQUIREMENTS^a**

BLDG COMPONENTS	STANDARD BASE CASE	Req'd. Value ^b	LOG HP-ES ONLY	Req'd. Value ^b
Wall Insulation-Exterior grade	U-0.060	R-21 ^c	None d	None d
Wall Insulation-Interior grade	F-0.065	R-5	F-0.065	R-5
Foam Ceiling ^e	U-0.03	R-30	U-0.025	R-41
Validated Ceiling ^f	U-0.042	R-36 ^g	U-0.027	R-36A ^h
Underlath ^h	U-0.028	R-30	U-0.028	R-30
5/8" Edge Portliner ⁱ	F-0.520	R-5	F-0.520	R-5
Insulated Sipl Header ^j	N/A	R-0	N/A	R-0
Windows ^k	U-0.35	U-0.25	U-0.25	U-0.25
Windows Area Limitation ^l	N/A	N/A	N/A	N/A
Skylight ^m	U-0.60	U-0.60	U-0.60	U-0.60
Exterior Doors ⁿ	U-0.20	U-0.20	U-0.20	U-0.20
Exterior Doors w/ >25ft ² Glazing ^o	U-0.40	U-0.40	U-0.40	U-0.40
Exterior Air Ducts ^p	N/A	R-5	N/A	R-5

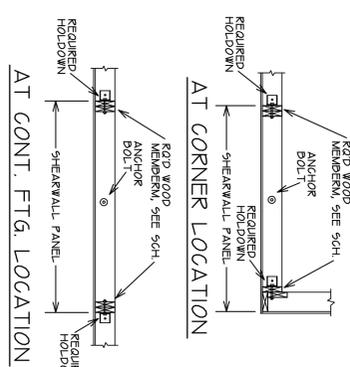
a. As stated in Section 6.01, thermal performance of a component may be adjusted provided that overall load does not exceed that listed provided and approved in values contained in Table (NO.1). b. Calculations to determine equivalent R-values shall be performed using the following formulas:
 1. R-values used in this table are rounded for the fraction only in exterior load formed construction and not for the entire assembly.
 2. All calculations shall be based on a 15-degree Fahrenheit design temperature difference between interior and exterior surfaces.
 3. All calculations shall be based on a 15-degree Fahrenheit design temperature difference between interior and exterior surfaces.
 4. The wall component shall be a minimum 4-in. or thicker wall thickness of 3/8 in. (9.5 mm).
 5. Below-grade used concrete or masonry walls shall be at least 12 in. thick and do not include those portions of such wall that extend more than 24 inches from grade.
 6. The ceiling component shall be a minimum 2-in. thick and do not include those portions of such wall that extend more than 24 inches from grade.
 7. The ceiling component shall be a minimum 2-in. thick and do not include those portions of such wall that extend more than 24 inches from grade.
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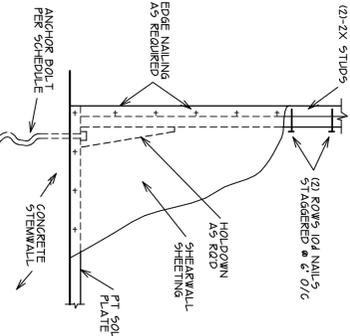
1 BRACE PANEL
NTS



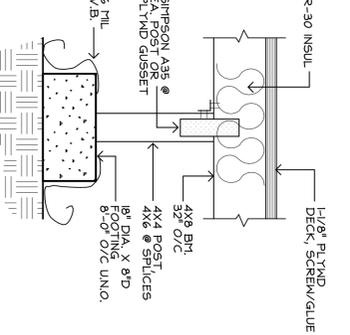
2 ALT. BRACE PANEL
NTS



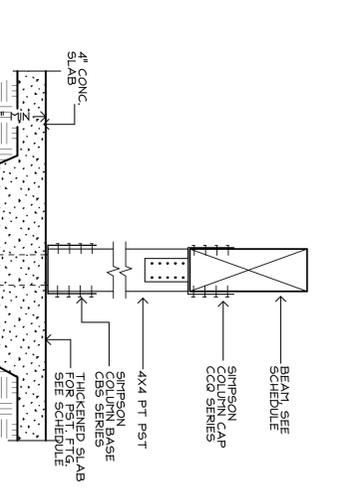
3 TYP. HD. PLACEMENT
NTS



4 B.U. COLUMN DTL.
NTS

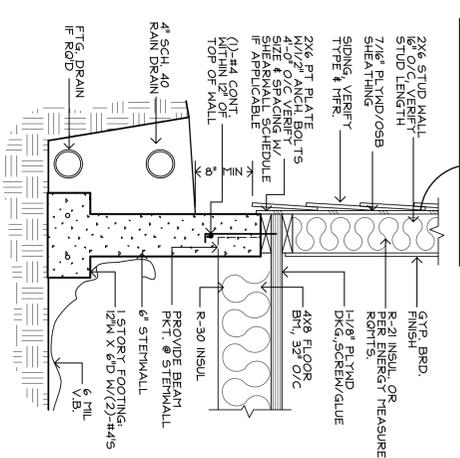


5 FND. DETAIL
FOOTING TO REST ON FIRM UNDISTURBED SOIL

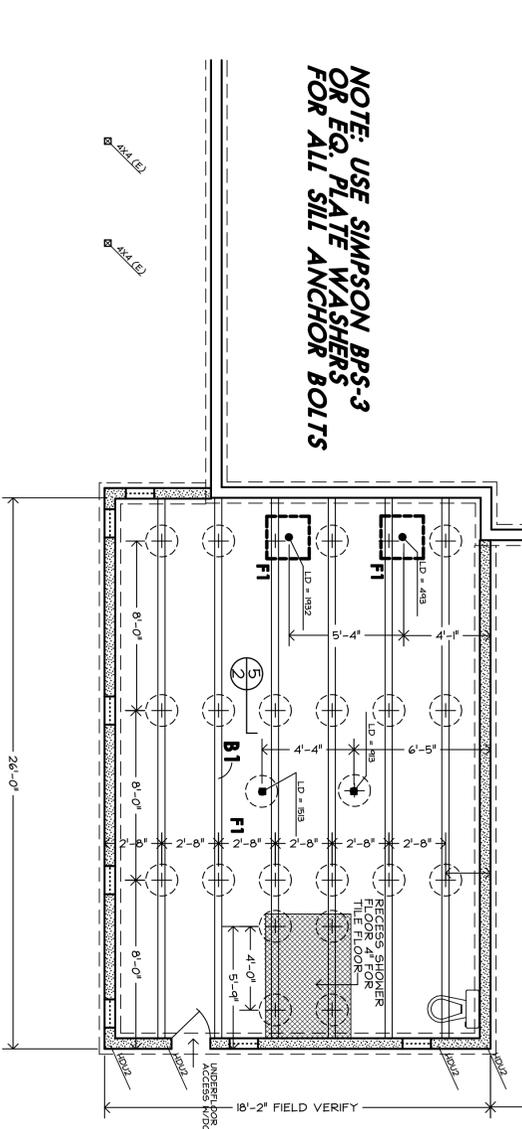


6 FND. DETAIL
FOOTING TO REST ON FIRM UNDISTURBED SOIL

WATER RESISTIVE BARRIER
ROD OVER SHEATHING USE
CODE APPROVED MATERIAL
OR PER K70312 EXCEPTION 4.3
USE 1 LAYER OF 1/8" FELT APPLIED
PER K7032



7 FND. DETAIL
FOOTING TO REST ON FIRM UNDISTURBED SOIL



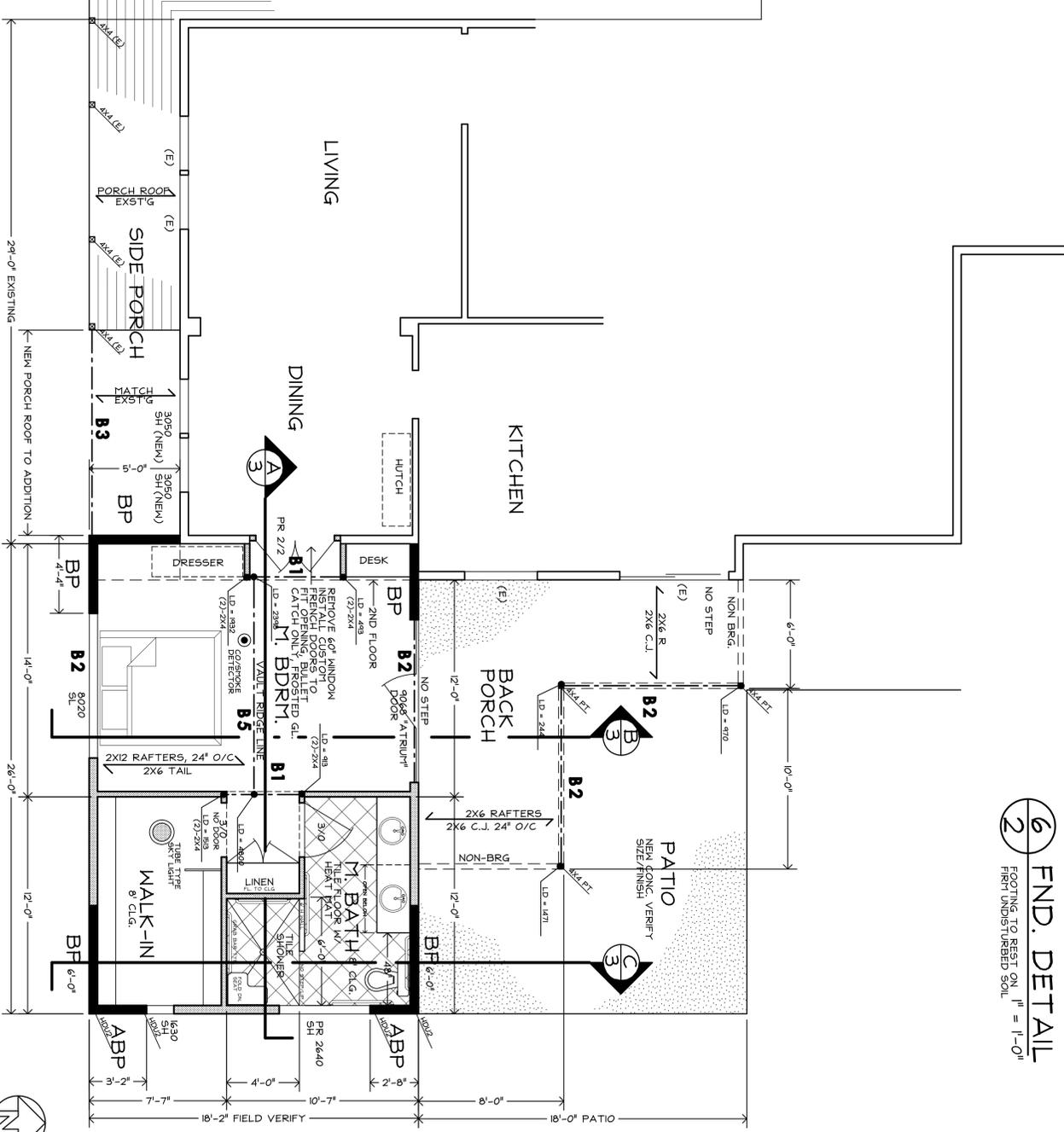
8 FOUNDATION PLAN
1/4" = 1'-0"

BEAMS:

B1	4X8 #2 DF-L
B2	4X10 #2 DF-L
B3	4X12 #2 DF-L
B4	6X10 #2 DF-L
B5	5-1/2 X 7-1/2 GLB 24F-V4

FOOTING SCHEDULE

MARK	FOOTING SIZE		DEPTH	REINFORCING	DTL/MAX. LOAD
	LENGTH	MIDTH			
F1	2'-0"	2'-0"	10"	(3)-#4/S E.M.	5500
F2	2'-6"	2'-6"	10"	(3)-#4/S E.M.	8600

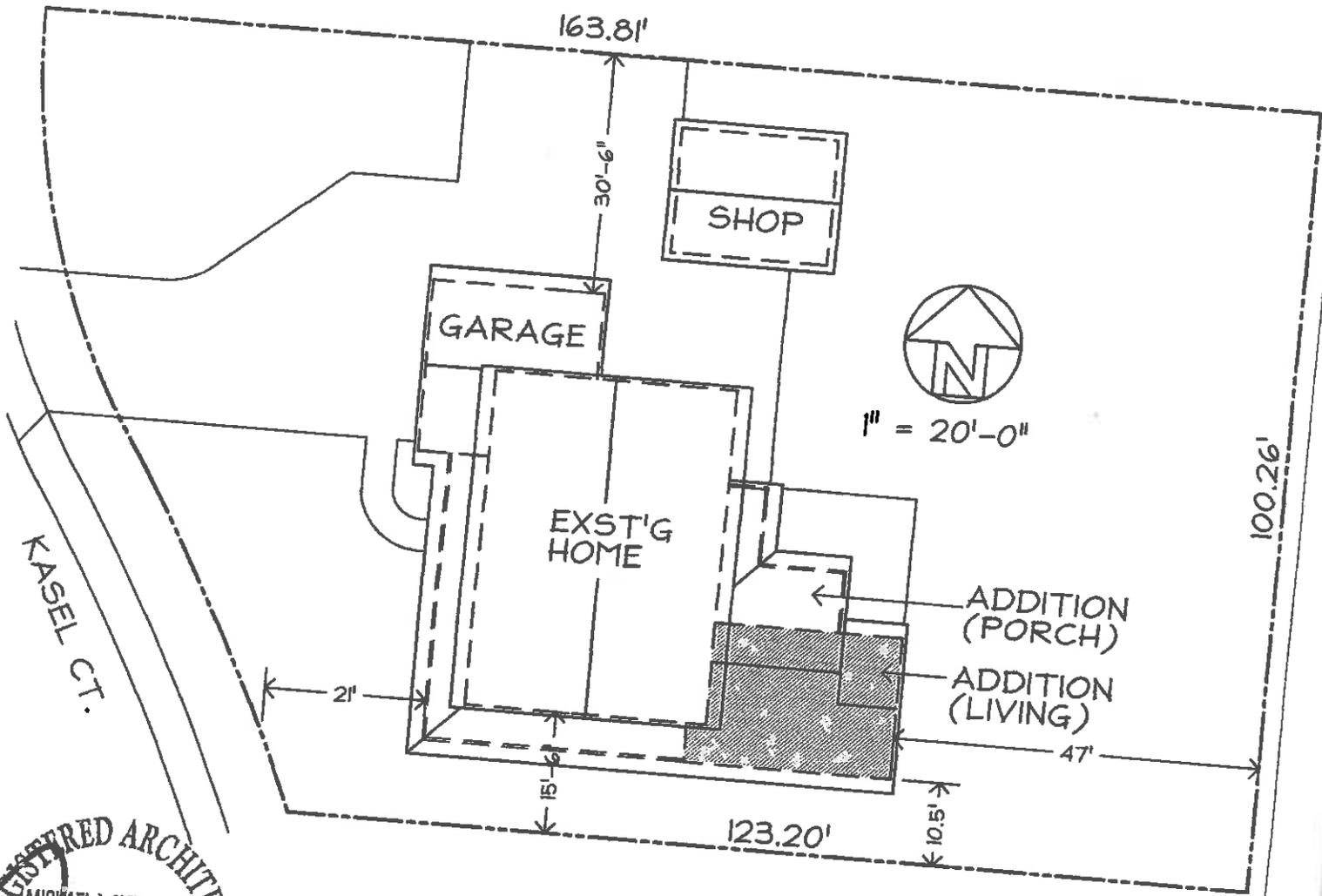


9 FIRST FLOOR PLAN
1/4" = 1'-0"

NOTES: - CONCRETE 3000 PSI
- STEEL F_y = 40 KSI
- ALLOWABLE SOIL BEARING 1500 PSF

REGISTERED ARCHITECT
MICHAEL WELLMAN
STATE OF OREGON





I certify that the above information is accurate to the best of my knowledge. I AM THE Owner or Authorized Agent

NAME (please print): Nick Kaiser Telephone #: 503 678 1531

Applicant's Signature: Nick Kaiser Date: 9-29-16

Applicant's Mailing Address: 14635 Kasel Ct City: Aurora Zip: 97002

PLANNING: _____ Date: _____

FOR OFFICE USE ONLY

PUBLIC WORKS: _____ Date: _____

BUILDING INSPECTION (Acceptable for Planning requirements only) Date: _____