

AGENDA
Aurora Planning Commission Meeting
Tuesday, April 5, 2016, at 7:00 P.M.
City Council Chambers, Aurora City Hall
21420 Main Street NE, Aurora, OR 97002

1. CALL TO ORDER OF THE AURORA PLANNING COMMISSION MEETING

2. CITY RECORDER DOES ROLL CALL

3. CONSENT AGENDA

- a) Planning Commission – March, 2016
- b) City Council Minutes – NA
- c) Historic Review Board Meeting Minutes – None

4. CORRESPONDENCE – NA

5. VISITORS

Anyone wishing to address the Aurora Planning Commission concerning items not already on the meeting agenda may do so in this section. No decision or action will be made, but the Aurora Planning Commission could look into the matter and provide some response in the future.

6. PUBLIC HEARING

- a) Discussion and or Action on Continuation of SDR-16-01 Application for Property 21317 Hwy 99E Warren Bean owner.

7. NEW BUSINESS

- a) Discussion and or Action on Updated Historic Design Guide Completed by the Board.
- b) Discussion Regarding New Annexation Law
- c) Discussion/Reminder to Complete Economic Interest Statements for 2016

8. OLD BUSINESS

- a) Discussion and or Action on Orchard View Subdivision Storm Drain issues.
- b) Discussion and or Action on Possible Urban Growth Boundary Expansion for the Airport.
- c) Discussion and or Action on TGM Grant Application

9. Commission Action/Discussion

- a) City Planning Activity (In Your Packets) Status of Development Projects within the City.

10. ADJOURN

Minutes
Aurora Planning Commission Meeting
Tuesday, March 1, 2016, at 7:00 P.M.
City Council Chambers, Aurora City Hall
21420 Main Street NE, Aurora, OR 97002

STAFF PRESENT Kelly Richardson, City Recorder
Renata Wakeley, City Planner

STAFF ABSENT: None

VISITORS PRESENT: None

1. CALL TO ORDER OF THE CITY COUNCIL MEETING

Meeting was called to order by Chairman Schaefer at 7:02 pm

2. CITY RECORDER DOES ROLL CALL

Chair Joseph Schaefer - Present
Commissioner Craig McNamara- Present
Commissioner Bud Fawcett – Present
Commissioner Jonathan Gibson - Present
Commissioner Mercedes Rhoden-Feely - Present
Commissioner Tara Weidman - Present
Commissioner Aaron Ensign - Absent

3. CONSENT AGENDA

- a) Planning Commission Minutes – February, 2016
- b) City Council Meeting Minutes – NA
- c) Historic Review Board Minutes – None

Motion to approve the consent agenda as presented was made by Commissioner Gibson and is seconded by Commissioner McNamara. Motion approved by all.

4. CORRESPONDENCE –

5. VISITORS

Anyone wishing to address the Aurora Planning Commission concerning items not already on the meeting agenda may do so in this section. No decision or action will be made, but the Aurora Planning Commission could look into the matter and provide some response in the future.

Jim and Kathy Page along with Randy Parker the new owners of the Eddy property at 21520 Main Street is here to observe and pitch there concept for the tiny house motel.

6. PUBLIC HEARING

- a) Discussion and or Action on SDR-16-01 Application for Property 21317 Hwy 99E, Hearing opens at 7:04pm Chair Schaefer declares that he has been on site when previously owned by James Frackowaic. Commissioner Gibson also declares he was on site a number of years ago and Commissioner McNamara declares he was on site when it was the Deer Creek Mercantile. Chair Schaefer begins by reading the ORS regarding public hearing processes. He then turns the meeting over to City Planner Wakeley who then begins the staff report.

The recommendation of staff is to continue the hearing until April 5th, 2016 because noticing requirements were not met we were unable to get it printed in the local newspaper in time. We did receive comments from Aurora Fire District. You will see that the applicant has provided two separate scenarios one as a detached and the other attached Commissioner Gibson asks the slope of the driveway and if there is parking allowed on 99E Wakeley states in my research of the 2009 TSP it is not called out I had thought it to say no parking on the west side of 99E so we will need confirmation from ODOT. Regarding the slope it starts at 199' and before you even get to the front of structure its now 194' so a 5 to 6 'drop.

**CITY OF AURORA
PLANNING COMMISSION**

STAFF REPORT: Site Development Review 2016-01 [SDR-16-01]
DATE: February 24, 2016 (for the March 1, 2016 Planning Commission meeting)

APPLICANT/OWNER: Warren and Bernice Bean/Valerie Troyer
P.O. Box 446, Hubbard OR 97032

REQUEST: Site Development Review approval for construction of approximate 5,650 sq. ft. addition to rear of an existing structure; on-site improvements including approximately 2,050 sq. ft. of outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.

SITE LOCATION: 21317 Highway 99E NE, Aurora, OR
Map 41.W.13BA Tax Lot 2300

SITE SIZE: 99,752 square feet or 2.29 acres

DESIGNATION: Zoning: Commercial (C) with Historic Commercial Overlay (HCO)

CRITERIA: Aurora Municipal Code (AMC) Chapters 16.22 Historic Commercial Overlay and 16.58 Site Development Review

ENCLOSURES: Exhibit A: Assessor Map
Exhibit B: Application and site plan
Exhibit C: Historic District Inventory #122 and Historic Review Board minutes (February 25, 2016)

I. REQUEST

Site Development Review approval for construction of approximate 5,650 sq. ft. addition to rear of an existing structure; on-site improvements including approximately 2,050 sq. ft. of outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.

II. PROCEDURE

The application was submitted to the City on February 4, 2016 but was determined incomplete by staff on February 17, 2016. The applicant submitted supplemental materials on February 17th and 22nd. The request for comments to interested parties and notice to property owners within 100 feet of the subject property was mailed on 2/23/17- 7 days prior to the Planning Commission meeting. Aurora Municipal Code (AMC) requires notice to surrounding property owners 14 days prior to the Planning Commission meeting and notice published in the paper 20 days prior to the Planning Commission meeting under Limited Land Use decisions, AMC 16.78. Time constraints and submission of supplemental required application materials did not allow for sufficient notification requirements. Therefore, staff is recommending the Planning Commission continue the hearing to a date and time certain to allow staff to adequately meet the procedural requirements of the subject application under the AMC.

The City has until **June 20, 2016**, or 120 days from acceptance of the application to approve, modify and approve, or deny this proposal.

III. APPEAL

Appeals are governed by AMC 16.78.120. An appeal of the Planning Commission's decision shall be made, in writing, to the City Council within 15 days of the Commission's final written decision.

IV. CRITERIA AND FINDINGS

The applicable review criteria for Site Development Review are found in AMC 16.58.

16.58.100 Approval Standards

The review of a Site Plan shall be based upon consideration of the following:

A. Provisions of all applicable chapters;

FINDINGS: The subject parcel is zoned Commercial (C) with a Historic Commercial Overlay (HCO). According to the Marion County assessor, the existing structure was built in 1865 and includes an approx. 993 sq. ft. main floor, 693 sq. ft. finished attic and 693 sq. ft. unfinished basement. The existing structure is estimated to be 30 feet from the front property line with a brick patio within the front yard. The applicant proposes an approx. 5,650 sq. ft. addition to rear (west) of the existing structure with on-site improvements including approximately 2,050 sq. ft. of outdoor patio sq. ft. and a gravel parking area with an estimated 36 parking spaces. Staff finds the property and proposal meet the HCO zone requirements for lot depth, width, and height. AMC 16.22.040.D. states, "no front setbacks shall be permitted, except as

necessary to maintain visual clearance areas. No rear or side setbacks are required. The existing structure is setback approximately 30 feet from the front property line and can be considered a pre-existing non-conforming use to the no front setback code requirements.

The existing structure is also identified in the Aurora Historic Building Inventory as the Maria Mohler House (Resource #122), and has a Primary Significant classification.

AMC section 17.040.020.A. governs additions to contributing commercial structures (which applies to the existing structure/subject property as follows:

1. New additions may only be placed on the rear elevation. Architectural detailing including roofing, siding, trim, doors, and windows shall match the existing structure in design and materials unless supported by evidence in the historic inventory.
2. Previous additions to the original structure that were added prior to 1921 shall be subject to the same standards and criteria as the original portion of the structure; however, in the event that the addition does not match the original, the exterior features of the addition may be altered to match the original.
3. Additions to contributing structures that were built in 1921 or later may be removed, and following removal, the exterior materials on that portion of the structure must match the remainder of the structure.
4. Additions to commercial structures are exempt from the parking requirements in Title 16.

Staff believes requiring new construction be placed in front of the historic structure or parallel to the existing would be in conflict with AMC 17.040.020 and staff finds the proposed addition to the rear of the historic structure satisfies both AMC section 16 and 17.

AMC 16.22.040.I states all properties, uses, and structures in the historic commercial overlay shall be subject to the requirements of Title 17, Historic Preservation. The Aurora Historic Review Board (HRB) reviewing the application at a February 25, 2016 meeting and comments from the HRB are included under Exhibit C. Staff finds the proposed addition and site improvements (see Exhibit B) can meet the requirements of AMC Title 16 and Title 17- Historic Preservation.

Staff finds this criterion can be met, with conditions.

- B. Buildings shall be located to preserve topography and natural drainage and shall be located outside areas subject to ground slumping or sliding;*

FINDINGS: Exhibit B11 provides a contour map of the property, as well as the location of the existing structure and proposed new construction. The most significant slope on the property is located along the frontage of Highway 99E and to the west of the existing structure and proposed new construction. According to the applicant, the “proposed addition to the existing building fits nicely into the existing topography, as does the parking area”.

Staff finds this criterion is met.

- C. Privacy and noise;*

- 1. Buildings shall be oriented in a manner which protects private spaces on adjoining residential properties from view and noise;*

2. *On site uses which create noise, lights, or glare shall be buffered from adjoining residential uses;*

FINDINGS: The subject property measures approx. 99,752 square feet or 2.29 acres. The property abuts the urban growth boundary and city limits to the west and Highway 99E to the east. The property to the north is zoned HCO and is buffered by approximately 150 feet of existing landscaping proposed to remain (see Exhibit B11). The property to the south is zoned Commercial but is outside the Historic Commercial Overlay. The lot to the south of the subject property measures approximately 50 feet to the south of the existing structure and proposed addition. The applicant proposes installation of a new asphalt parking area to the south of the existing structure and addition and proposes to buffer the parking area with five (5) ft. fence (see Exhibit B18).

A lighting plan was not included with the subject application. A lighting plan in conformance with criteria 16.58.100.C.2. and I.3-4. shall be submitted for City review and approval prior to final occupancy permit approval. This is included as a recommended condition of approval.

Staff finds this criterion can be met, with conditions.

D. Residential private outdoor areas:

FINDINGS: Staff finds this criterion does not apply.

E. Residential shared outdoor recreation areas:

FINDINGS: Staff finds this criterion does not apply.

F. Shared outdoor recreation space shall be readily observable for reasons of crime prevention and safety;

FINDINGS: The proposed outdoor space abuts the proposed structures. However, the property is completely under private ownership and staff finds this criterion does not apply.

H. Demarcation of public, semipublic, and private spaces;

FINDINGS: Staff finds this criterion does not apply as the space is private, commercial property.

I. Crime prevention and safety:

1. *In residential developments, interior laundry and service areas shall be located in a way that they can be observed by others;*
2. *Mail boxes shall be located in lighted areas having vehicular or pedestrian traffic;*
3. *Exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime;*
4. *Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps and abrupt grade changes. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person.*

FINDINGS: Criteria I.1 and I.2 are related to residential development and found not to apply. A lighting plan for the site was not provided by the applicant. A lighting plan in conformance with the above criteria shall be submitted for City review and approval prior to final occupancy permit approval. The lighting plan must also show that lighting shall not reflect onto surrounding properties. This is included as a recommended conditional of approval.

J. *Access and circulation;*

1. *The number of allowed access points for a development shall be as determined by the City Engineer in accordance with standard engineering practices for city rights-of-way, as determined by Marion County for county rights-of-way, and as determined by the Oregon Department of Transportation for access to Highway 99E.*
2. *All circulation patterns within a development shall be design to accommodate emergency vehicles.*

FINDINGS: Comments from the Aurora Rural Fire District are included under Exhibit D and included as a recommended condition of approval. The applicant proposes to close the existing access to the property and add a new access further south along Highway 99E at the location of the proposed parking area. According to the applicant, they have met with ODOT staff and ODOT has indicated they believe the proposed change is approvable by them. A recommended condition of approval is for the approved access permit to be submitted to the City of Aurora prior to occupancy permit approval.

Staff finds this criterion can be met, with conditions.

K. *Public transit;*

FINDINGS: Access to the property is proposed via Highway 99E. No transit stops abut or are adjacent to the subject property. Staff finds this criterion does not apply.

- L.** *All parking and loading requirements shall be design in accordance with the requirements set forth in Chapter 16.42.*

FINDINGS: Parking shall be in conformance with the AMC 16.22 for the historic commercial overlay zone and Title 17-Historic Preservation. AMC 16.22.040.F. states, "Parking shall be in accordance with Chapter 16.42 except as specifically exempted by Chapter 16.28 and Title 17, and should be located to the rear of the building. The planning commission may approve parking to the side of the building where parking to the rear is not feasible. AMC 17.40.020.A.4. states, "Additions to commercial structures are exempt from the parking requirements in Title 16". Staff finds parking is not required.

As the applicant does propose parking and while parking space minimums are exempt under the HCO, proposed parking shall still be required to conform with the public works standards under 16.38 and 16.42 for screening and buffering as the property does not abut residentially zoned property. Additionally, the proposed location of the parking area to the south of the existing structure and proposed addition appears to provide good access and least impact upon existing topography. Staff recommends the planning commission approve the proposed parking to the side of the building as parking to the rear has the potential to have a greater impact upon existing property slope.

No ADA parking is shown on the proposed site plan. Staff recommends the Planning Commission defer to the building inspector to determine whether ADA parking is required on site. If ADA parking is provided or required, it shall be constructed in accordance with the Oregon Structural Specialty Code, in conformance with AMC 16.42.100. This is included as a recommended condition of approval.

16.42.050.A. states, "All parking and maneuvering surfaces shall have a durable, hard and dustless surface such as asphalt, concrete, cobblestone, unit masonry, scored and colored concrete, grasscrete, compacted gravel, or combinations of the above". According to the applicant, "we concur with this requirement" and the applicants representative has stated the parking area will be gravel with the exception of the first twenty (20) feet at the property line, which would be asphalt as required by ODOT. In addition, there may be a small area paved for ADA parking.

Criteria under 16.42.050.B-I. contain requirements for service drives and/or residential developments and are found not to apply to the subject property and application.

16.42.050.J states, "J. Parking spaces along the outer boundaries of a parking area shall be contained by a curb or bumper rail so placed to prevent a motor vehicle from extending over an adjacent property line or a street right-of-way". 16.42.050.K requires, "The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least four inches in height, and at least three feet from the lot line or any required fence. This is included as a recommended condition of approval.

Staff finds this criterion can be met, with conditions.

M. All landscaping shall be designed in accordance with the requirements set forth in Chapter 16.38.

FINDINGS: A preliminary landscape plan with minor improvements for outdoor seating and pathways is included under Exhibit B. AMC 16.38 require properties larger than twenty thousand (20,000) square feet in size shall have at least ten (10) percent of the total lot area landscaped. Staff finds this criterion is met.

AMC 16.38.50.D. requires any refuse container or disposal area and service facilities such as gas meters and air conditioners which would otherwise be visible from a public street, customer or resident parking area, any public facility or any residential area, shall be screened from view by placement of a solid wood fence, masonry wall or evergreen hedge between five and eight feet in height. All refuse materials shall be contained within the screened area. According to the applicant, the garbage enclosure will be screened with concrete masonry units and the exterior would be wood siding painted white to match the building. Staff recommends inclusion of screening of refuse containers, disposal areas and service facilities to be screened in compliance with 16.38.050.D be included as a condition of approval.

If landscaping improvements exceed \$2,500, review and approval by the Historic Review Board (HRB) is also required in conformance with AMC 17.04.050.B.2. This is included as a recommended condition of approval.

N. All public improvements shall be designed in accordance with the requirements of Chapter 16.34.

FINDINGS: The subject property is generally considered developed. Extension/sizing of water, sewer, or storm drainage improvements are required to comply with Chapter 16.34 and the City of Aurora public works design standards and City of Aurora and State of Oregon development, building and fire codes. This is included as a recommended condition of approval.

At the time of this staff report, staff did not have comments from the city engineer or city public works.

The Aurora Transportation System Plan (TSP) defers to the Oregon Department of Transportation (ODOT) for frontage improvements along Highway 99E, classified as a State Principal Arterial. Staff does not believe additional right-of-way dedication will be required at this time based upon existing widths. At the time of writing of this staff report, the City did not have comments from ODOT on the subject application.

Staff does not believe the subject Site Development Review application will require completion of a Traffic Impact Analysis (TIA) as the proposed application is not determined by staff to result in more than 250 vehicle trips per day as specified in the TSP. At the time of writing of this staff report, the City did not have comments from the city engineer on the subject application. Parking is discussed under criteria L.

Staff finds this criterion can be met, with conditions.

O. All facilities for handicapped shall be designed in accordance with the requirements set forth in the ADA requirements;

FINDINGS: The subject application includes new construction which will be subject to Oregon Structural Specialty Code requirements and ADA requirements. Remodel, if applicable, and construction shall be required to comply with all City of Aurora and State of Oregon development, building and fire codes. This is included as a recommended condition of approval. Staff finds this criterion can be met, with conditions.

P. All of the provisions and regulations of the underlying zone shall apply

FINDINGS: Staff finds the applicant can meet the zone criteria under the HCO and can meet the criteria for Site Development Review approval, with recommended conditions of approval. The application meets the minimum side and rear yard setbacks and meets the height limitation of 35 feet. While the application does not meet the zero front yard setback, the applicant is proposing for the new construction to be complementary and subordinate to the existing historic structure. The applicant has also shown the slope considerations of the site which would make construction along the front property line much more difficult than would be possible for smaller properties in the HCO zone to the north of the subject property.

Staff finds this criterion is met.

V. CONCLUSIONS AND RECOMMENDATIONS

Based on the findings in the staff report, staff recommends that the Planning Commission *CONTINUE* the planning commission hearing and decision on the application for Site Development Review (SDR-2016-01).

If the Planning Commission does not decide to continue the hearing, staff has outlined suggested conditions of approval based upon the information and comments received at the time of writing of this staff report:

- 1) Develop the subject property in accordance with plans approved by the city.
- 2) Comply with all City of Aurora and State of Oregon development, (building and fire codes in effect at the time of *building permit application*).
- 3) A lighting plan in conformance with AMC 16.58.100.C.2. and 16.58.100.I.3-4. shall be submitted for City review and approval prior to building permit approval. The lighting plan shall also show that lighting will not reflect onto surrounding properties. The approved lighting plan shall be installed *prior to final occupancy permit approval*.
- 4) An ODOT approved access permit shall be submitted to the City of Aurora *prior to occupancy permit approval*.
- 5) If ADA parking is provided or required, it shall be constructed in accordance with the Oregon Structural Specialty Code, in conformance with AMC 16.42.100.
- 6) In accordance with 16.42.50.J.-K., Parking spaces along the outer boundaries of a parking area shall be contained by a curb or bumper rail so placed to prevent a motor vehicle from extending over an adjacent property line or a street right-of-way. The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least four inches in height, and at least three feet from the lot line or any required fence. Parking improvements shall be completed *prior to occupancy permit approval*.
- 7) Screening of refuse containers, disposal areas and service facilities shall be screened in compliance with 16.38.050.D., *prior to occupancy permit approval*.
- 8) If landscaping improvements exceed \$2,500, review and approval by the Historic Review Board (HRB) is also required in conformance with AMC 17.04.050.B.2.

VI. PLANNING COMMISSION ACTION

- A. Continue the hearing to the April 5, 2016 Planning Commission meeting to allow for additional staff review of comments from various interested parties and incorporation into the Planning Commission staff report and decision.
- B. Approve the site development review application (SDR 2016-01) for new construction/additions to the existing structure, on-site landscaping improvements including approx. 2,050 sq. ft. of

outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.

1. As recommended by staff, or
 2. As determined by the Planning Commission stating how the application satisfies all the required criteria, and any revisions to the recommended conditions of approval, or
- C. Deny the request for site development review approval for SDR 2016-01 stating how the application does not meet the applicable approval criteria.
- D. Continue the hearing to a time certain or indefinitely (considering the 120-day limit on applications).

The Commissioners ask the applicant which version they would prefer and it is determined in that conversation the applicant would prefer it to be attached.

- The applicant Bernice Bean addresses the Commission and gives a brief background of her over 35 years in the hospitality industry and feels as though this would be a good sound project in Aurora.
- Aaron Fabre comments that we were hoping to get a sense on whether or not this project could move forward as our option to purchase is until March 15th. We have discussed the project with ODOT and it is my understanding that we can have parking along 99E. Initially our goal was to keep the driveway and put in a second one and we learned that would not be possible so we moved it. They do have some requirements that we will address.
- The Historic Review Board seemed to like the project they had a few comments I would only add that my understanding was that they were not expecting us to come to next meeting just bring it to the board when ready for permit process.

There were no Comments for or against.

Motion is made by Commissioner McNamara to continue the hearing until the April 5, 2016 meeting and is seconded by Commissioner Fawcett. Motion Passes.

7. NEW BUSINESS

- a) Discussion and or Action on Non-Remonstrance Agreement for 15050 Park Avenue. Chair Schaefer summarizes the application, the property is a flag lot and they currently have building permits for a single family dwelling currently there are no sidewalks surrounding the flag lot therefore the applicant is asking for a Non-Remonstrance Agreement instead of putting in sidewalks at this time.
 - Planner Wakeley comments that this is an interpretation and a limited land use decision and therefore no public hearing is required. Once a decision is made abutting property owners would be notified. There have been a few concerns in the past regarding drainage on the south side but not on the north side. IN the last 5 years development has required sidewalks on the north side most of the drainage problems are on the south side only. In the past it has been determined that these could be a safety issue if left too long without connecting sidewalks so your code does allow for a non-remonstrance agreement.

At this point the recording stopped at 7:55PM the recorder is full.

Motion to approve the Non-Remonstrance agreement application for 15050 Park Avenue is made by Commissioner Gibson and is seconded by McNamara. Passed by all.

8. OLD BUSINESS

- a) Discussion and or Action on Orchard View Subdivision Storm Drain Issues.
Chair Schaefer gives a brief history of the issue and informs everyone that there are no new updates as of yet. Councilor Southard informs the group that this will be addressed in the Storm Water Master Plan update that should be completed very soon. The City has provided the group with estimates on maintenance costs however the City is really hoping for the group to form an HOA to take care of the situation.
- b) Discussion and or Action on Possible Urban Growth Boundary Expansion for the Airport.
Chair Schaefer, after our last meeting and with discussions with City Council we are to the point of moving forward and I would like your thoughts on this process.
 - We need to now get the funds together in order to move forward with the EOA (Economic Opportunities Analysis) which will be completely funded by donations and or grants. This portion of the project will cost approximately \$50,000 based on similar projects and about \$10,000 for the City Planners time and maybe another \$5,000 for our City Attorney. We will have the budget committee set up a line item on the budget.
 - Citizen involvement is a big part of this process we need to get feedback from our community.
 - Identification of possible lands 360 degrees surrounding Airport.
 - Assessment of land potential and expectation of Airport growth.
 - Industry specific EOA for the Airport is where were going with this.

Consensus of the commission is to wait until there is more information before we begin obtaining citizen feedback.

Councilor Southard is in the audience and he just wanted to remind everyone that we are the servants for our community and that it is our job to help our citizens to succeed in their projects. There are so many vacant buildings and we need to figure out ways to make applicants successful.

9. COMMISSION/DISCUSSION

- a) City Planning Activity (in your packets) Status of Development Projects within the City. NA.

10. ADJOURN

Chair Schaefer adjourned the March 1, 2016 Aurora Planning Commission Meeting at 8:50 P.M.

Chair Schaefer

ATTEST:

Kelly Richardson, CMC
City Recorder

**CITY OF AURORA
PLANNING COMMISSION**

STAFF REPORT: Site Development Review 2016-01 [SDR-16-01]
DATE: March 23, 2016 (for the April 5, 2016 Planning Commission meeting)

APPLICANT/OWNER: Warren and Bernice Bean/Valerie Troyer
P.O. Box 446, Hubbard OR 97032

REQUEST: Site Development Review approval for construction of approximate 5,650 sq. ft. addition to rear of an existing structure; on-site improvements including approximately 2,050 sq. ft. of outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.

SITE LOCATION: 21317 Highway 99E NE, Aurora, OR
Map 41.W.13BA Tax Lot 2300

SITE SIZE: 99,752 square feet or 2.29 acres

DESIGNATION: Zoning: Commercial (C) with Historic Commercial Overlay (HCO)

CRITERIA: Aurora Municipal Code (AMC) Chapters 16.22 Historic Commercial Overlay and 16.58 Site Development Review

ENCLOSURES: Exhibit A: Assessor Map
Exhibit B: Application and site plan
Exhibit C: Historic District Inventory #122 and Historic Review Board minutes (February 25, 2016)
Exhibit D: Request for Comments (RFC) responses

I. REQUEST

Site Development Review approval for construction of approximate 5,650 sq. ft. addition to rear of an existing structure; on-site improvements including approximately 2,050 sq. ft. of outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.

II. PROCEDURE

The application was submitted to the City on February 4, 2016 but was determined incomplete by staff on February 17, 2016. The applicant submitted supplemental materials on February 17th and 22nd. The request for comments to interested parties and notice to property owners within 100 feet of the subject property was mailed on 2/23/17- 7 days prior to the Planning Commission meeting. Aurora Municipal Code (AMC) requires notice to surrounding property owners 14 days prior to the Planning Commission meeting and notice published in the paper 20 days prior to the Planning Commission meeting under Limited Land Use decisions, AMC 16.78. Time constraints and submission of supplemental required application materials did not allow for sufficient notification requirements so the Planning Commission continued the hearing to April 5, 2016. Notice was mailed to property owners on March 18, 2016 and

notice was published in the Canby Herald on March 16, 2016 in compliance with the AMC.

The City has until **June 20, 2016**, or 120 days from acceptance of the application to approve, modify and approve, or deny this proposal.

III. APPEAL

Appeals are governed by AMC 16.78.120. An appeal of the Planning Commission's decision shall be made, in writing, to the City Council within 15 days of the Commission's final written decision.

IV. CRITERIA AND FINDINGS

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Staff finds this criterion can be met, with conditions.

- B. Buildings shall be located to preserve topography and natural drainage and shall be located outside areas subject to ground slumping or sliding;*

FINDINGS: Exhibit B11 provides a contour map of the property, as well as the location of the existing structure and proposed new construction. The most significant slope on the property is located along the frontage of Highway 99E and to the west of the existing structure and proposed new construction. According to the applicant, the “proposed addition to the existing building fits nicely into the existing topography, as does the parking area”.

Staff finds this criterion is met.

- C. Privacy and noise;*

- 1. Buildings shall be oriented in a manner which protects private spaces on adjoining residential properties from view and noise;*
- 2. On site uses which create noise, lights, or glare shall be buffered from adjoining residential uses;*

FINDINGS: The subject property measures approx. 99,752 square feet or 2.29 acres. The property abuts the urban growth boundary and city limits to the west and Highway 99E to the east. The property to the north is zoned HCO and is buffered by approximately 150 feet of existing landscaping proposed to remain (see Exhibit B11). The property to the south is zoned Commercial but is outside the Historic Commercial Overlay. The lot to the south of the subject property measures approximately 50 feet to the south of the existing structure and proposed addition. The applicant proposes installation of a new asphalt parking area to the south of the existing structure and addition and proposes to buffer the parking area with five (5) ft. fence (see Exhibit B18).

A lighting plan was not included with the subject application. A lighting plan in conformance with criteria 16.58.100.C.2. and I.3-4. shall be submitted for City review and approval prior to final occupancy permit approval. This is included as a recommended condition of approval.

Staff finds this criterion can be met, with conditions.

- D. Residential private outdoor areas:*

FINDINGS: Staff finds this criterion does not apply.

E. Residential shared outdoor recreation areas:

FINDINGS: Staff finds this criterion does not apply.

F. Shared outdoor recreation space shall be readily observable for reasons of crime prevention and safety;

FINDINGS: The proposed outdoor space abuts the proposed structures. However, the property is completely under private ownership and staff finds this criterion does not apply.

H. Demarcation of public, semipublic, and private spaces;

FINDINGS: Staff finds this criterion does not apply as the space is private, commercial property.

I. Crime prevention and safety:

- 1. In residential developments, interior laundry and service areas shall be located in a way that they can be observed by others;*
- 2. Mail boxes shall be located in lighted areas having vehicular or pedestrian traffic;*
- 3. Exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime;*
- 4. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps and abrupt grade changes. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person.*

FINDINGS: Criteria I.1 and I.2 are related to residential development and found not to apply. A lighting plan for the site was not provided by the applicant. A lighting plan in conformance with the above criteria shall be submitted for City review and approval prior to final occupancy permit approval. The lighting plan must also show that lighting shall not reflect onto surrounding properties. Staff will ensure the HRB has an opportunity to review the proposed lighting plan, as requested under Exhibit B. This is included as a recommended conditional of approval.

J. Access and circulation;

- 1. The number of allowed access points for a development shall be as determined by the City Engineer in accordance with standard engineering practices for city rights-of-way, as determined by Marion County for county rights-of-way, and as determined by the Oregon Department of Transportation for access to Highway 99E.*
- 2. All circulation patterns within a development shall be design to accommodate emergency vehicles.*

FINDINGS: Comments from the Aurora Rural Fire District are included under Exhibit D and included as recommended conditions of approval. The applicant proposes to close the existing access to the property and add a new access further south along Highway 99E at the location of the proposed parking area. The Oregon Department of Transportation (ODOT) provided comments on the application under Exhibit D.

Based upon their comments, recommended conditions of approval for the approved access permit to be submitted to the City of Aurora prior to occupancy permit approval and dedication of 2 feet of right-of-way in compliance with the Aurora TSP are included below.

Staff finds this criterion can be met, with conditions.

K. *Public transit;*

FINDINGS: Access to the property is proposed via Highway 99E. No transit stops abut or are adjacent to the subject property. Staff finds this criterion does not apply.

L. *All parking and loading requirements shall be design in accordance with the requirements set forth in Chapter 16.42.*

FINDINGS: Parking shall be in conformance with the AMC 16.22 for the historic commercial overlay zone and Title 17-Historic Preservation. AMC 16.22.040.F. states, "Parking shall be in accordance with Chapter 16.42 except as specifically exempted by Chapter 16.28 and Title 17, and should be located to the rear of the building. The planning commission may approve parking to the side of the building where parking to the rear is not feasible. AMC 17.40.020.A.4. states, "Additions to commercial structures are exempt from the parking requirements in Title 16". Staff finds parking is not required.

As the applicant does propose parking and while parking space minimums are exempt under the HCO, proposed parking shall still be required to conform with the public works standards under 16.38 and 16.42 for screening and buffering as the property does not abut residentially zoned property. Additionally, the proposed location of the parking area to the south of the existing structure and proposed addition appears to provide good access and least impact upon existing topography. Staff recommends the planning commission approve the proposed parking to the side of the building as parking to the rear has the potential to have a greater impact upon existing property slope.

No ADA parking is shown on the proposed site plan. Staff recommends the Planning Commission defer to the building inspector to determine whether ADA parking is required on site. If ADA parking is provided or required, it shall be constructed in accordance with the Oregon Structural Specialty Code, in conformance with AMC 16.42.100. This is included as a recommended condition of approval.

16.42.050.A. states, "All parking and maneuvering surfaces shall have a durable, hard and dustless surface such as asphalt, concrete, cobblestone, unit masonry, scored and colored concrete, grasscrete, compacted gravel, or combinations of the above". According to the applicant, "we concur with this requirement" and the applicants representative has stated the parking area will be gravel with the exception of the first twenty (20) feet at the property line, which would be asphalt as required by ODOT. In addition, there may be a small area paved for ADA parking.

Criteria under 16.42.050.B-I. contain requirements for service drives and/or residential developments and are found not to apply to the subject property and application.

16.42.050.J states, "J. Parking spaces along the outer boundaries of a parking area shall be contained by a curb or bumper rail so placed to prevent a motor vehicle from extending over an adjacent property line or

a street right-of-way". 16.42.050.K requires, "The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least four inches in height, and at least three feet from the lot line or any required fence. This is included as a recommended condition of approval.

Staff finds this criterion can be met, with conditions.

M. All landscaping shall be designed in accordance with the requirements set forth in Chapter 16.38.

FINDINGS: A preliminary landscape plan with minor improvements for outdoor seating and pathways is included under Exhibit B. AMC 16.38 require properties larger than twenty thousand (20,000) square feet in size shall have at least ten (10) percent of the total lot area landscaped. Staff finds this criterion is met.

If landscaping improvements exceed \$2,500, review and approval by the Historic Review Board (HRB) is also required in conformance with AMC 17.04.050.B.2. Applicant shall be required to provide the caliper of all trees proposed for removal to the City. Trees with a caliper larger than 24 inches requires approval by the HRB pursuant to 17.04.050.B.2.

AMC 16.38.50.D. requires any refuse container or disposal area and service facilities such as gas meters and air conditioners which would otherwise be visible from a public street, customer or resident parking area, any public facility or any residential area, shall be screened from view by placement of a solid wood fence, masonry wall or evergreen hedge between five and eight feet in height. All refuse materials shall be contained within the screened area. According to the applicant, the garbage enclosure will be screened with concrete masonry units and the exterior would be wood siding painted white to match the building. Staff recommends inclusion of screening of refuse containers, disposal areas and service facilities to be screened in compliance with 16.38.050.D be included as a condition of approval.

If landscaping improvements exceed \$2,500, review and approval by the Historic Review Board (HRB) is also required in conformance with AMC 17.04.050.B.2. This is included as a recommended condition of approval.

N. All public improvements shall be designed in accordance with the requirements of Chapter 16.34.

FINDINGS: The subject property is generally considered developed. Extension/sizing of water, sewer, or storm drainage improvements are required to comply with Chapter 16.34 and the City of Aurora public works design standards and City of Aurora and State of Oregon development, building and fire codes. This is included as a recommended condition of approval.

Water: According to the city engineer, a 2" water line serves the property. Depending upon final design, if flows for the existing and proposed development larger than this are required, the water line will need to be upgraded in compliance with the Aurora Water Master Plan at the developer's cost. According to the building inspector, the Aurora Water Master Plan calls for a 10" water main to cross Highway 99E and would need to connect to existing water main at the east end of Highway 99E and Bobs Avenue (see Exhibit D).

The existing water service requirements will need to be reviewed and upgraded as necessary in accordance with the Public Works Design Standards and Water Master Plan, prior to building permit approval. Appropriate backflow prevention devices, as necessary, will need to be reviewed and approved by the Marion County Building Department and Fire Marshall. This is included under recommended conditions of approval.

Fire protection- Unless otherwise approved by the Fire District, fire hydrants are required within 250 feet of any new structure. The Fire Chief reviewed the subject application and has stated that a hydrant will be required at that location as lines cannot cross a major arterial. Prior to building permit approval, the developer shall provide documentation that the Aurora Fire District has reviewed and approved all fire protection devices, systems, and access routes. This is included as a recommended condition of approval.

Sewer: Comments from public works and building inspector are included under Exhibit D. Depending upon final design for the addition and kitchen and restroom facilities, the existing 4” sewer line may not be adequate. Sanitary sewer requirements in compliance with the Aurora public works design standards will be determined prior to building permit approval. All upgrades will be at the expense of the developer.

Storm water: Storm water detention will need to be provided in accordance with the Aurora and Marion County Public Works Design Standards. Prior to building permit approval, the developer shall submit to the City for review and approval engineered storm water plans and a drainage study/calculations conforming to the Public Works Standards. It is the responsibility of the developer to provide a suitable discharge location for storm water from the development. Storm water operation and maintenance of a private detention facility will be the obligation of the property owner. An operation and maintenance agreement, if required, shall be reviewed and approved by the City prior to building permit approval.

Transportation: The Aurora Transportation System Plan (TSP) defers to the Oregon Department of Transportation (ODOT) for frontage improvements along Highway 99E, classified as a State Principal Arterial. Tax assessor maps show that the current ODOT right-of-way is 80’ along the frontage. Table 3-1 of the Aurora TSP and AMC 16.34.030 recommends 84’ of right-of-way. Staff recommends the Planning Commission require the dedication of 2 feet of right-of-way to comply with the TSP. This is included as a recommended condition of approval.

Staff does not believe the subject Site Development Review application will require completion of a Traffic Impact Analysis (TIA) as the proposed application is not determined by staff to result in more than 25 peak hour trips or 250 vehicle trips per day. The Aurora TSP specifies development resulting in more than 250 vehicle trips per day shall require at TIA (Appendix F-9). According to the Trip Generation Manual¹, the estimated 2,350 sq ft of dining space with an estimated 1,000 sq ft of the 2,050 sq ft outdoor space for dining, and the existing 993 main floor of the existing structure for retail space (estimated) can be expected to average 15 dining peak hour trips and 5 retail peak hour trips, respectively.

Highway 99E along the frontage contains half-street improvements located along the east side of the Highway from Bob’s Avenue and north. These improvements were completed by the City and ODOT. Table 3-1 of the Aurora TSP and AMC 16.34.030 show the recommended street section. **A half-street improvement consisting of paving, curb and gutters, sidewalks and storm drainage is recommended.** ODOT has stated they do not require frontage improvements but will rather defer to the City and TSP.

While the City TSP identifies frontage improvements as recommended and the City may require these improvements along the frontage of the subject property, there are slope constraints and concerns of whether the development justifies the need for this level of improvement when there are not sidewalks, curbs and gutters to the north or south of the property. In addition, the City and ODOT completed a substantial improvement to the east side of Highway 99E in this area and it appears that completion of this eastern portion of 99E is a higher priority to the City in providing bike and pedestrian access to the area. The City Engineer suggests two options:

- a) Prior to building permit approval, the developer shall submit to the City for review and approval a street improvement plan conforming to ODOT, Aurora Public Works Design Standards and the Aurora TSP. Frontage improvements in conformance with the street improvement plan shall be required prior to occupancy permit approval.

OR

- b) If the City defers the requirement for frontage improvements, applicant shall be required to record a non-remonstrance agreement for paving, curb and gutters, sidewalks and storm drainage prior to building permit approval. Frontage improvements may be required in the future if the City is able to gather non-remonstrance agreements for a majority of properties in this area of western Highway 99E.

Parking is discussed under criteria L.

An erosion and sediment control plan shall be submitted for review and approval by the City prior to any site grading or earth disturbing activities.

Staff finds this criterion can be met, with conditions.

O. All facilities for handicapped shall be designed in accordance with the requirements set forth in the ADA requirements;

FINDINGS: The subject application includes new construction which will be subject to Oregon Structural Specialty Code requirements and ADA requirements. Remodel, if applicable, and construction shall be required to comply with all City of Aurora and State of Oregon development, building and fire codes. This is included as a recommended condition of approval. Staff finds this criterion can be met, with conditions.

P. All of the provisions and regulations of the underlying zone shall apply.

FINDINGS: Staff finds the applicant can meet the zone criteria under the HCO and can meet the criteria for Site Development Review approval, with recommended conditions of approval. The application meets the minimum side and rear yard setbacks and meets the height limitation of 35 feet. While the application does not meet the zero front yard setback, the applicant is proposing for the new construction to be complementary and subordinate to the existing historic structure. The applicant has also shown the slope considerations of the site which would make construction along the front property line much more difficult than would be possible for smaller properties in the HCO zone to the north of the subject property.

Staff finds this criterion is met.

V. CONCLUSIONS AND RECOMMENDATIONS

Based on the findings in the staff report, staff recommends that the Planning Commission **APPROVE** the application for Site Development Review (SDR-2016-01) with the conditions of approval summarized in the staff report and below:

- 1) Develop the subject property in accordance with plans approved by the city. Documentation shall be provided to the City that the plans and specifications have been approved/permitted by all

applicable local, state and federal agencies having jurisdiction over the work. This may include, but not limited to, the City of Aurora, Aurora Fire District, ODOT, DHS-DWP, DEQ, etc.

- 2) Comply with all City of Aurora and State of Oregon building and fire codes in applicable at the time of *building permit application*. If applicable, Systems Development Charges will be applied at the time of issuance of a building permit.
- 3) The developer shall be responsible for all costs relating to the required improvements identified for the project within the Aurora Municipal Code, Public Works Design Standards, and the conditions of approval.
- 4) A lighting plan in conformance with AMC 16.58.100.C.2. and 16.58.100.I.3-4. shall be submitted for City review and approval *prior to building permit approval*. The lighting plan shall also show that lighting will not reflect onto surrounding properties. The approved lighting plan shall be installed *prior to final occupancy permit approval*.
- 5) An ODOT approved access permit shall be submitted to the City of Aurora *prior to occupancy permit approval*.
- 6) In accordance with 16.42.50.J.-K., Parking spaces along the outer boundaries of a parking area shall be contained by a curb or bumper rail so placed to prevent a motor vehicle from extending over an adjacent property line or a street right-of-way. The outer boundary of a parking or loading area shall be provided with a bumper rail or curbing at least four inches in height, and at least three feet from the lot line or any required fence. Parking improvements shall be completed *prior to occupancy permit approval*.
- 7) If ADA parking is provided or required, it shall be constructed in accordance with the Oregon Structural Specialty Code, in conformance with AMC 16.42.100.
- 8) The existing water service requirements will need to be reviewed and upgraded as necessary in accordance with the Public Works Design Standards and Water Master Plan, *prior to building permit approval*. Appropriate backflow prevention devices, as necessary, will need to be reviewed and approved by the Marion County Building Department and Fire Marshall. All upgrades, if applicable, will be at the expense of the developer.
- 9) Sanitary sewer requirements in compliance with the Aurora public works design standards will be determined *prior to building permit approval*. All upgrades will be at the expense of the developer.
- 10) *Prior to building permit approval*, the developer shall provide documentation that the Aurora Fire District has reviewed and approved all fire protection devices, systems, and access routes.
- 11) Storm water detention will need to be provided in accordance with the Aurora and Marion County Public Works Design Standards. It is the responsibility of the developer to provide a suitable discharge location for storm water from the development. *Prior to building permit approval*, the developer shall submit to the City for review and approval engineered storm water plans and a drainage study/calculations conforming to the Public Works Standards. Storm water operation and maintenance of a private detention facility will be the obligation of the property owner. An operation and maintenance agreement, if required, shall be reviewed and approved by the City *prior to building permit approval*.

- 12) An erosion and sediment control plan shall be submitted for review and approval by the City prior to any site grading or earth disturbing activities.
- 13) Screening of refuse containers, disposal areas and service facilities shall be screened in compliance with 16.38.050.D., *prior to occupancy permit approval*.
- 14) If landscaping improvements exceed \$2,500, review and approval by the Historic Review Board (HRB) is also required in conformance with AMC 17.04.050.B.2. Applicant shall be required to provide the caliper of all trees proposed for removal to the City. Trees with a caliper larger than 24 inches requires approval by the HRB pursuant to 17.04.050.B.2.
- 15) Dedication of two (2) feet of right-of-way along Highway 99E to the Oregon Department of Transportation (ODOT) in compliance with the Aurora TSP shall be required *prior to building permit approvals*. Dedication shall be to “The Public for public road purposes” and in compliance with ODOT approved procedures.
- 16) In accordance with the Aurora TSP, the Planning Commission may require frontage improvements along the subject property.
 - a. Prior to building permit approval, the developer shall submit to the City for review and approval a street improvement plan conforming to ODOT, Aurora Public Works Design Standards and the Aurora TSP. Frontage improvements in conformance with the street improvement plan shall be required prior to occupancy permit approval.

OR

- b. If the City defers the requirement for frontage improvements, applicant shall be required to record a non-remonstrance agreement for paving, curb and gutters, sidewalks and storm drainage prior to building permit approval. Frontage improvements may be required in the future if the City is able to gather non-remonstrance agreements for a majority of properties in this area of western Highway 99E.
- 17) In accordance with AMC 16.34.140.A, prior to beginning any construction, the applicant shall assure the completion and maintenance of improvements by securing a bond, or placing cash in escrow, an amount equal to one hundred twenty-five (125) percent of the estimated cost of the improvements. Further, the applicant shall execute an agreement with the City Attorney regarding the repair, at the applicant’s expense, of any public facilities damaged during development.
- 18) AMC 16.76.360.A states approvals issued pursuant to this chapter shall be effective for a period two years from the date of approval. In accordance with 16.58.050.A.3, a development agreement containing the conditions of approval shall be signed by the developer and recorded with Marion County.

VI. PLANNING COMMISSION ACTION

- A. Approve the site development review application (SDR 2016-01) for new construction/additions to the existing structure, on-site landscaping improvements including approx. 2,050 sq. ft. of outdoor patio seating area and decorative pathways; provision of 36 on-site parking spaces; and installation of a new access drive from Highway 99E.
 - 1. As recommended by staff, or
 - 2. As determined by the Planning Commission stating how the application satisfies all the required criteria, and any revisions to the recommended conditions of approval, or
- B. Deny the request for site development review approval for SDR 2016-01 stating how the application does not meet the applicable approval criteria.
- D. Continue the hearing to a time certain or indefinitely (considering the 120-day limit on applications).

ⁱ Trip Generation. Institute of Transportation Engineers. 7th Edition. 2003



LEGEND

- LINE TYPES**
- TAX LOT BOUNDARY
 - OLD PROPERTY LINE
 - VACATED RIGHT-OF-WAY
 - RAILROAD
 - RAILROAD RIGHT-OF-WAY
 - STREAM LAKE, ETC. LOT BOUNDARY
 - STREAM LAKE, ETC. NON-BOUNDARY
 - SECTION BOUNDARY
 - TAX CORNER BOUNDARY
 - TAX CORNER BOUNDARY
- SYMBOL TYPES**
- BLC
 - CONTROL POINT
 - SURVEY MONUMENT
 - GLA CORNER
 - SECTION 1/4 SEC
 - 1/4 SEC
 - 1/8 SEC
 - 1/16 SEC
 - 1/32 SEC

NUMBERS
TAX CODE NO.
000 00 00 0

ACRES - ALL ACRES INCLUDE ANY PORTION THAT MAY LIE WITHIN THE INDICATED PUBLIC RIGHT OF WAY.

TICK MARKS - WHEN A TICK MARK IS INDICATED ON THE INTERSECTION OF A LINE, THEN THE DIMENSION GOES TO THE TICK MARK. OTHERWISE THIS IS USED WHEN DIMENSIONS GO BY TO PUBLIC RIGHT OF WAY.

NOTICE: This map was created for Assessor's Office use ONLY.



SCALE 1" = 100'
or 1:1200

Plot file created: September 19, 2011
\\mapserver\arcgis\assessor

Exhibit A

City of Aurora Building /Planning Application

(Check appropriate box)

- SITE DEVELOPMENT REVIEW (AMC 16.58)
- FLOOD PLAN DEV. PERMIT (AMC 16.18)
- HISTORIC OVERLAY DISTRICT (AMC 16.20-16.22)
 - Certificate of Appropriateness
 - Demolition Permit
 - Sign Review
- MANUFACTURED HOME PARK (AMC 16.36)
- COMPREHENSIVE PLAN AMENDMENT (AMC 16.80)
 - Text
 - Map
- ZONING ORDINANCE AMENDMENT (AMC 16.80)
 - Text
 - Map
- CONDITIONAL USE (AMC 16.80)
- VARIANCE (AMC 16.64)
- HOME OCCUPATION (AMC 16.48)
 - Type I _____ Type II _____
- NON-CONFORMING USE (AMC 16.62)
- LAND DIVISION
 - Subdivision (AMC 16.72)
 - Partition (AMC 16.70)
 - Property Line Adjustment (AMC 16.68)
- APPEAL TO _____ (AMC 16.74-16.78)
- OTHER _____

APPLICANT GENERAL INFORMATION

Applicant WARREN AND BRUNILE BEAN Phone 503-784-4455
 Mailing Address P.O. Box 446, Hubbard, OR 97032
 Property Owner VALERI JO TRAYER Phone _____
 Mailing Address P.O. Box 1950 Sisters, OR 97759
 Contact person if different than applicant _____ Phone _____
 Mailing Address _____

PROPERTY DESCRIPTION

Address SEE ATTACHED Tax Map # _____ Tax Lot # _____
 Legal Description (attach add'l sheet if necessary) _____

Total Acres or Sq. Ft. _____ Existing Land Use _____
 Existing Zoning _____ Proposed Zoning (if applicable) _____
 Proposed use _____

ACTION REQUESTED: (use additional sheets as needed)

ATTACHMENTS:

A. Plot plan of subject property- show scale, north arrow, location of all existing and proposed structures, road access to property, names of owners of each property, etc. Plot plans can be submitted on tax assessor maps which can be obtained from the tax assessor's office in the Marion County Courthouse, Salem OR.

B. Legal description of the property as it appears on the deed (metes and bounds). This can be obtained at the Marion County Clerk's office in the Marion County Courthouse, Salem OR.

ADDITIONAL INFORMATION

In order to expedite and complete the processing of this application, the City of Aurora requires that all pertinent material required for review of this application be submitted at the time application is made. If the application is found to be incomplete, review and processing of the application will not begin until the application is made complete. The submittal requirement relative to this application may be obtained from the specific sections of the Aurora Municipal Code pertaining to this application. If there are any questions as to submittal requirements, contact the City Hall prior to formal submission of the application.

In submitting this application, the applicant should be prepared to give evidence and information which will justify the request and satisfy all the required applicable criteria. The filing fee deposit must be paid at the time of submission. This fee in no way assures approval of the application and is refundable to the extent that the fee is not used to cover all actual costs of processing the application.

I certify that the statements made in this application are complete and true to the best of my knowledge. I understand that any false statements may result in denial of this application. I understand that the original fee paid is only a deposit and I agree to pay all additional actual costs of processing this application, including, but not limited to, all planning, engineering, City attorney and City administration fees & costs. I understand that no final development approval shall be given and/or building permit shall be issued until all actual costs for processing this application are paid in full.

Signature of Applicant Warren Bean
 Signature of Property Owner _____

Date 2/3/2016
 Date _____
 Date _____

Office Use Only: Received By: <u>VR</u>	Date: _____	Fee Paid \$ <u>2,000</u> <u>cc 8876</u>
Receipt # _____	Case File # _____	Planning Director Review
Last updated 8-14-2010		Date: <u>2/4/16</u>

**City of Aurora
HISTORIC REVIEW BOARD
Application for Certificate of Appropriateness**

PROJECT INFORMATION SHEET

IMPORTANT: In order for your application to proceed in a timely basis, this form and the required attachments **MUST** be completed in full. If your application is incomplete, no decision will be made and your request will be delayed. Please turn the complete application in at least **ONE WEEK** prior to the meeting (4th Thursday of each month) so that board members can become familiar with your property and project. It is helpful, but not required, if you can attend the meeting.

You will need to refer to the *City of Aurora Guidelines for Historic District Properties*, which may be obtained from City Hall.

Name WARREN AND BERNICE BEAN Date 2/3/2016
 Business name (if applicable) _____
 Physical address _____
 Mailing address Box 446 Hubbard, OR 97032
 Phone 503-784-4455 email whbean@northp.com
 Type of project(s) List all
RESTAURANT AND RETAIL

Zoning: Residential Commercial
 Type structure: House Commercial Church
 Style: Colony Victorian Craftsmen
 Ranch Contemporary
 Other (describe) _____

Project specifics:
 Painting: base color _____ mfg/number _____
 trim color _____ mfg/number _____
 trim color _____ mfg/number _____

Guidelines used. Item/page(s) _____

Please bring samples of colors you propose to use.

Fencing: Picket Stock Privacy
 Other (describe) _____

Dimensions: Height _____ Length _____

Color _____

Material _____

Location (as shown on site plan) _____

Guidelines used: Item/page(s) _____

Rd 600⁰⁰
 CX # 1075
 Exhibit B2

**Aurora Restaurant Project - Additional Information
Warren & Bernice Bean**

Code Analysis

February 22, 2016

Additional Information Requested by City Planner:

A) The total square footage of the addition- specified by rooms such as store, toilets, restaurant, office space, storage etc. Please also provide the sq footage of the proposed patio.

Main Floor (2,950 sf):

Dining	1500
Kitchen	500
Storage	200
Restrooms	250
Corridors	200
Stairs	300

Lower Daylight Basement (2,700 sf):

This space will initially be unfinished and is for expansion if the project is successful. If finished out in the future it would likely be:

Dining	850
Kitchen	300
Storage	800
Restrooms	250
Corridors	200
Stairs	300

Outdoor Spaces:

Front Patio	150
Rear Patio	1900

Note: All of the areas listed are approximate and represent the usable square feet. We request that some flexibility be maintained for building size, by plus or minus 20%. The detailed design of the kitchen, which will be determined by the final selection of menu, can't be accomplished until the construction drawing stage of design is undertaken. The kitchen design can potentially require changes to the proportions of the interior spaces. The overall goal is that the seating areas are looking out over the very attractive existing landscaping and paths in the interior of the site (which currently needs maintenance since it is somewhat overgrown with blackberries). So that view will be the predominant force in the determinant of the final interior layout.

B) Drawing A2.0 shows enclosed "toilets" space connecting to the existing structure but drawing A2.0a does not show a connection. Is this the 2nd story?

Drawing A2.0a shows the addition disconnected as a site layout option, should that be preferred by the City as an adjustment. If the addition is disconnected then the restrooms (which were located to serve both the existing and new space alongside a connecting corridor) would be placed more interior on the main floor and the overall Main Floor size would reduce to 2,700 sf.

C) A lighting plan will need to be submitted. This can be condition as a staff level review but if one is available, please submit for HRB and PC review as well.

We don't have a detailed lighting plan at this time so will be appreciative if that can be a condition at staff level review.

D) Do you have the approved access permit from ODOT yet or any correspondence with them that you can submit with the application?

We have not yet applied to ODOT, however Warren Bean and Aron Faegre met with three ODOT staff in Salem on January 28th at 2pm, and showed them the same site plan we have submitted with this application. We learned that the existing driveway is fully legal and could be re-used. We requested that the existing driveway be allowed to remain with the addition of the new proposed driveway. However we learned with certainty that only one driveway would be allowed by ODOT. They gave us the application materials and said that they could see no reason that the new driveway wouldn't be approved as a replacement for the existing driveway, as long as the property title does not contain any conditions of control of access. Warren Bean has checked the property title and finds that there are no controls of access listed, so the revised access appears fully approvable by ODOT. They said that the existing driveway could remain open during construction of the addition so that the new driveway would be a construction driveway for that period of time. However at the end of the project the old driveway would have to be completely removed from the right-of-way. We asked if the existing driveway could simply be gated so that it could still be used for emergency or on an occasional basis. They said no, it would have to be completely removed. They also explained that ODOT permits are available if any new utilities need to be connected in the street. They said that the first 20 feet of driveway at the property line would need to be asphalt to make access to Highway 99 easy for cars. This paragraph is my memo record of the meeting.

E) The application states the garbage enclosure location is shown on the drawings but information on the garbage enclosure materials is not provided. Please provide materials and specifications for the enclosure.

The structure of the enclosure would be CMU (concrete masonry units) and the exterior finish would be wood siding painted white to match the building.

F) What will be parking lot be made of? Asphalt or gravel?

The parking lot would be gravel, with the exception of the first 20 feet at the property line, which would be asphalt as required by ODOT. In addition, there would be a small area paved for ADA parking, adjacent to an accessible walkway at the front north side of the parking area.

**Aurora Restaurant Project
Warren & Bernice Bean**

Code Analysis

February 17, 2016

16.58.090 Site development plans.

A. Required information may be combined on one map. Site development plan(s) shall include the following information, as appropriate:

1. A vicinity map showing the proposed site and surrounding properties;

- *see attached survey drawing.*

2. The site size and its dimensions;

- *see attached survey drawing.*

3. The location, dimensions and names of all existing and platted streets and other public ways and easements on the site and on adjoining properties;

- *see attached survey drawing.*

4. The location, dimensions and names of all proposed streets or other public ways and easements on the site;

- *none.*

5. The location and dimension of all proposed:

a. Entrances and exits on the site,

- *see drawing A1.0a.*

b. Parking and traffic circulation areas,

- *see drawing A1.0a.*

c. Loading and services areas, where applicable,

- *see drawing A1.0a.*

d. Pedestrian and bicycle facilities,

- *see drawing A1.0a.*

e. Utilities;

- *see attached survey drawing.*

6. The location, dimensions and setback distances of all:

a. Existing structures, improvements and utilities which are located on adjacent property within twenty-five (25) feet of the site and are permanent in nature, and

- see drawing A1.0a.

b. Proposed structures, improvements, and utilities on the site;

- see drawing A1.0a.

7. Contour lines at two-foot intervals for grades zero to ten (10) percent and five-foot intervals for grades over ten (10) percent for current site grades;

- see attached survey drawing.

8. A grading plan that includes:

a. The identification and location of the benchmark and corresponding datum,

- see attached survey drawing.

b. Location and extent to which grading will take place indicating contour lines, slope ratios, and slope stabilization proposals,

- see drawing A1.0a.

c. The location of drainage patterns and drainage courses;

- no significant changes to drainage patterns and courses.

9. The location of any floodplain areas (one hundred (100) year floodplain and floodway);

- none identified on the site.

10. The location of any slopes in excess of twelve (12) percent;

- see drawing A1.0a.

11. The location of any unstable ground (areas subject to slumping, earth slides or movement);

- none identified on the site.

12. The location of any areas having a high seasonal water table within twenty-four (24) inches of the surface for three or more weeks of the year and any wetlands;

- none identified on the site.

13. The location of any areas having a severe soil erosion potential as defined by the soil conservation service;

- none identified on the site.

14. The method for mitigating any adverse impacts upon wetland, riparian or wildfire habitat areas;

- no adverse impacts by proposal.

15. A landscaping plan including:

a. Location and height of fences, buffers and screening,

- 5 foot high fence proposed at south side of parking lot as shown on drawing A1.0a.

b. Location of terraces, decks, shelters, play areas, and common open spaces where applicable,

- see patios shown on drawing A1.0.

c. Location of mechanical equipment and garbage enclosures, and applicable screening

- mechanical equipment will be located in attic of addition and to west of addition; garbage enclosure location shown on drawing A1.0a.

d. Location, type and size of plant materials, and

- only grass will be added to site.

e. Soil conditions, and erosion control measures that will be used;

- no special soil conditions have been identified; the building permit drawings will include erosion control plans for use during construction.

16. Elevation drawings of all sides of the development with landscaping shown as it will appear both at the time of planting and at maturity.

- see drawings A3.0, A3.1, A3.2, and A3.3. The site has many existing decorative trees and shrubs and these will be retained. There are no new plantings proposed.

16.58.100 Approval standards.

The Planning Commission shall make a finding with respect to each of the following criteria when approving, approving with conditions, or denying an application. The criteria shall be utilized in reviewing plans, drawings, sketches and other documents required by this subchapter. These criteria are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the City. These criteria shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. It shall be the applicant's responsibility to display to the City how the applicable criteria are being best met for the subject property.

A. Provisions of all applicable chapters;

- no additional provisions not covered here are known at this time.

B. Buildings shall be located to preserve topography and natural drainage and shall be located outside areas subject to ground slumping or sliding;

- the proposed addition to the existing building fits nicely into the existing topography, as does the parking area.

C. Privacy and noise:

1. Buildings shall be oriented in a manner which protects private spaces on adjoining residential properties from view and noise,

- by placing the addition to the back of the existing building, the new interior spaces are 107 feet from the adjacent house to the south, so will minimize view and noise impacts.

2. On-site uses which create noise, lights, or glare shall be buffered from adjoining residential uses;

- by placing the addition to the building, the new spaces are 107 feet from the adjacent house to the south, so will minimize lights, glare, and noise impacts.

D. Residential private outdoor areas:

1. Structures which include residential dwelling units shall provide private outdoor areas which are screened from view by adjoining units,

- not applicable since no residential use proposed.

2. Private open space such as a patio or balcony shall be provided and shall be designed for the exclusive use of individual units and shall be at least forty-eight (48) square feet in size with a minimum width dimension of four feet, and

a. Balconies used for entrances or exits shall not be considered as open space except where such exits or entrances are for the sole use of the unit, and

b. Required open space may include roofed or enclosed structures such as a recreation center or covered picnic area,

- not applicable since no residential use proposed.

3. Wherever possible, private outdoor open spaces should be oriented toward the sun;

- not applicable since no residential use proposed.

E. Residential shared outdoor recreation areas:

1. In addition to the requirements of subsection D of this section, usable outdoor recreation space shall be provided in multifamily residential developments for the shared or common use of all the residents in the following amounts:

a. Studio up to and including two-bedroom units, two hundred (200) square feet per unit, and

b. Three or more bedroom units, three hundred (300) square feet per unit,

- not applicable since no residential use proposed.

2. The required recreation space may be provided as follows:

a. It may be all outdoor space, or

- b. It may be part outdoor space and part indoor space; for example, an outdoor tennis court, and indoor recreation room,
- c. It may be all public or common space,
- d. It may be part common space and part private; for example, it could be an outdoor tennis court, indoor recreation room and balconies on each unit, and
- e. Where balconies are added to units, the balconies shall not be less than forty-eight (48) square feet,
- f. Shared outdoor recreation space shall be readily observable for reasons of crime prevention and safety;

- not applicable since no residential use proposed.

H. Demarcation of public, semipublic, and private spaces;

- 1. Structures and site improvements shall be designed so that public areas such as streets or public gathering places, semipublic areas and private outdoor areas are clearly defined in order to establish persons having a right to be in the space, in order to provide for crime prevention and to establish maintenance responsibility, and
- 2. These areas may be defined by a deck, patio, low wall, hedge or draping vine, a trellis or arbor, a change in level or landscaping;

- not applicable since no residential use proposed.

I. Crime prevention and safety:

- 1. In residential developments, interior laundry and service areas shall be located in a way that they can be observed by others,
- 2. Mail boxes shall be located in lighted areas having vehicular or pedestrian traffic,
- 3. Exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime, and
- 4. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps and abrupt grade changes. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person;

- no crime is expected in this area.

J. Access and circulation:

- 1. The number of allowed access points for a development shall be as determined by the City Engineer in accordance with standard engineering practices for City rights-of-way, as determined by Marion County for county rights-of-way, and as determined by the Oregon Department of Transportation for access to Highway 99E,
- 2. All circulation patterns within a development shall be designed to accommodate emergency vehicles;

- only one access point is proposed, per ODOT requirements; we have met with ODOT staff and they have indicated they believe the proposed change is approvable by them.

K. Public transit:

- 1. Provisions within the plan shall be included for providing for transit if the development proposal is adjacent to existing or proposed transit route.
- 2. The requirements for transit facilities shall be based on:
 - a. The location of other transit facilities in the area,
 - b. The size and type of the proposal.
- 3. The following facilities may be required:

- a. Bus stop shelters,
- b. Turnouts for buses, and
- c. Connecting paths to the shelters;

- no special transit improvements are proposed.

L. All parking and loading areas shall be designed in accordance with the requirements set forth in Chapter 16.42;

- we concur with this requirement.

M. All landscaping shall be designed in accordance with the requirements set forth in Chapter 16.38;

- we concur with this requirement.

N. All public improvements shall be designed in accordance with the requirements of Chapter 16.34;

- no public improvements are proposed.

O. All facilities for the handicapped shall be designed in accordance with the requirements set forth in the ADA requirements;

- the facility will be made ADA accessible during the building permit phase of work.

P. All of the provisions and regulations of the underlying zone shall apply; and

- we concur with this requirement.

Q. All properties located in the historic commercial or historic residential overlay shall be designed in accordance with the requirements set forth in Title 17 of the Aurora Municipal Code.

- we concur with this requirement and will be meeting with the Historic Design Board on February 25th.

AURORA COLONY HISTORIC DISTRICT INVENTORY



RESOURCE #: 122

COUNTY: Marion

ADDRESS: 21317 Hwy 99E NE
(510 Hwy 99E)
Aurora, OR 97002

T4S R1W S13

ADDITION: NA

TAXLOT #: 40590-000

OWNER: Nicholas & Virginia
Santillan

ADDRESS: 21287 Hwy 99E NE

Aurora, OR 97002

THEME: 19th Century Communal Religious Colony

CLASSIFICATION: Primary Significant

HISTORIC NAME: Maria Mohler House

YEAR BUILT: C. 1875

ORIGINAL/PRESENT USE: Residential/Residential

RECORDERS: Philip Dole & Judith Rees

DATE: January 1984

The Mohler House is one of the finer examples of a Colony house, both in its features and its intactness. However, in contrast to the many early attributes of the house, there are three which suggest a later date; the shutters, molded window caps and shiplap siding. No dates have previously been associated with the house, but stylistic characteristics suggest circa 1875 as appropriate.

The one and a half-story Mohler House is two bays deep and, although the first story is obscured, apparently three bays wide, as the second story facade has three low, six-light windows. The house is 32 feet wide by 21 feet deep, and a small, one-story addition at the southwest corner is 15 feet square. The gable roof has a pitch of about 40 degrees and is covered with composition shingles. Two original brick chimneys sit on either end of the ridge; the southern one is of fireplace flue dimensions, the northern one is of stove flue dimensions. The northern one has a corbelled cap and has been painted or covered with a cement coat; the southern one has lost its cap.

The eaves are boxed across the front and rear facades, have recessed soffits on the rake and meet in triangular forms at the corner. They are detailed with simple crown and bed moldings.

Exhibit 01

AURORA COLONY HISTORIC DISTRICT INVENTORY

RESOURCE #: 122

The walls are sided with six-inch shiplap, have plain one-by-six corner boards, and no water table. The windows are six-over-six, double-hung sash, smaller in size on the second floor than on the first. There are hinged, operable, louvered shutters at the windows. The condition and character of the house suggests that the original color scheme has survived; the shutters are painted green, the sash black and the house white.

Across the full length of the front facade is an eight-foot deep, hip roof porch. On the south end, it contains a six-foot wide, enclosed room. The porch has low solid rails faced in shiplap with a screen of latic work filling the space above. Solid brackets at the eaves are visible, but not the form of the porch supports. The porch and its enclosure totally obscure the first story front facade, including the front door and other openings.

The house is remarkably intact, but in poor condition. Alterations are negligible and include: metal gutters and downspouts, a six-inch metal vent pipe mounted on the exterior northeast corner, and a variety of composition sheets temporarily attached around the porch and the house foundations. The kitchen wing, which has a small porch and chimney, has characteristics of more recent construction. The front porch is an anomaly, as it has the characteristics of an Aurora Colony house rear porch, but this may be due to later alterations.

The house, which faces east toward Highway 99-E, sits on a slight rise surrounded by an old garden and orchards to the north and east. Although small outbuildings can be seen, the plantings are too dense to allow further description.

Mohler is the name associated with the house on Clark Will's 1924 map. Samuel Mohler died in 1871, aged 85; his wife, Maria, in 1893, aged 94; and their daughter, Elizabeth, in 1898, aged 62. The Mohlers came to Bethel in 1845 and "conducted to the Bethel fund in money and valuables \$888.37". This was a much larger amount than the majority of members gave. They came to Aurora in 1863 and settled up in 1872. Maria and Elizabeth were members in 1878. Nothing else is known about the Mohlers or who the house was associated with in later years.

Minutes
Aurora Historic Review Board Meeting
Thursday, February 25, 2016, at 7:00 P.M.
City Council Chambers, Aurora City Hall
21420 Main Street NE, Aurora, OR 97002

STAFF PRESENT Kelly Richardson, CMC City Recorder

STAFF ABSENT: None

VISITORS PRESENT: Warren & Bernice Bean, Hubbard
Aron Faegre
Martin Lackner, Aurora Legion Hall

CALL TO ORDER OF THE HISTORIC REVIEW BOARD MEETING

The meeting of February 25, 2016 was called to order by Chair Abernathy at 7:01 pm

1. CITY RECORDER DOES ROLL CALL

Chair Abernathy – Present
Member Berard - Present
Member Frochen – Present
Member Fraser – Present
Member Townsend - Present

2. CONSENT AGENDA

- a) Historic Review Board Meeting Minutes – November 19, 2015.
- b) City Council Minutes – NA
- c) Planning Commission – NA

A motion to approve the Historic Review Board minutes of November 24, 2015 as amended to show Townsend absent and Berard present was made by Member Fraser and is seconded by Member Frochen.
Passed by all.

3. CORRESPONDENCE – NA

4. VISITORS

Anyone wishing to address the Historic Review Board concerning items not already on the meeting agenda may do so in this section. No decision or action will be made, but the Historic Review Board could look into the matter and provide some response in the future.
No comments were made during this section.

There were no visitors that spoke during this time.

5. NEW BUSINESS

- a) Discussion and or Action on Project Application for sidewalks for American Legion Hall and tree removal. Applicant representative Martin Lackner presents his application to the board which is to remove the trees out front of Legion Hall in planter strip and to repair sidewalks in conjunction with 21520 Main Street.

Board discussion, is mainly discussing the approved street tree list and to verify that the applicant knows what the side walk standards are so the sidewalks are replaced correctly.

Motion to approve the application as submitted for sidewalks to meet current sidewalk standards and trees with approved street tree list and to preserve the horse rings is made by member Townsend and is seconded by member Frochen. Passed by All.

- b) Discussion and or Action on Project Application from Warren Bean 21317 Highway 99E

Bernice Bean presents the application and the concept of the original structure to be a retail space and do an addition on the rear of the building to house a restaurant.

Board discussion with applicant is which scenario presented is the best option and that meet code requirements attached vs not attached. Based on code in this application it is best to have the building attached and the board felt they had done a nice job regarding the original structure. Chair Abernathy's first thought that it would be better unattached however through discussion it is determined that code would not allow that as easily and they all think attached is great. There is a brief amount of conversation regarding aspects the board likes and others that might be nice to see another way. One specific change they talked about was square vents rather than round vents and the applicant took note of the change.

as per code the following items were approved
Roofing material black 17.40.150
Paint, 17.40.120
siding, 17.40.170
windows, 17.40.190

Board lets applicant know that as far as the deck/veranda that it will need to be painted and as far as the windows 7.40.190 windows shall be either wood or at the very least trimmed in wood and new windows openings are only permitted where they are not visible from from right-away. New windows and window openings on rear elevations shall match the materials, style, colors and trim of other windows on the structure.

Motion is made to approve the application as presented as attached and meets design standards of title 17 for roofing, paint, siding and windows. Suggested vent change to square from round and at a later time see alighting plan and paint sample is made by member Townsend and is seconded by member Fraser. Passed by all.

6. OLD BUSINESS

- a) Discussion and or Action CGL Grant, no real update as of yet we just need to continue moving forward with the changes. We need to develop a contract for the design professional that we need to have for stage 3 of the project. Staff is asked to obtain a list of professionals from SHPPD.
- b) Discussion and or Action on Corcoran application and or project (added to agenda at board request).The board asked MR. Corcoran to come to the meeting because as the progress on the building was happening they were noticing a door and porch in a different spot than originally approved. As Mr. Corcoran did more research on the original building it was discovered that the door and porch on the front were added in the 90's so we didn't do them and then added the door and ADA porch on the side as it was more in keeping with the original structure? Mr. Corcoran apologized to the board for not bringing the changes to the board prior to the changes being made. The board requests to see revised plans for material and paint.

Action Item: Staff is asked to follow up on the removal of the Aurora Market & Deli sign as it is no longer in compliance of the code nor grandfathered in since ownership has changed.

Aurora Antiques needs a letter regarding multiple plastic opens signs. The Colony Pub also has signs that they have not applied for and the A-Boards are plastic.

7. ADJOURN

Chairman Abernathy adjourned the meeting of February 25, 2016 at 9:07 pm.

Gayle Abernathy, Chairman

ATTEST:

Kelly Richardson, CMC
City Recorder

Rod Yoder

From: Wakeley, Renata [renatac@mwvcog.org]
Sent: Monday, February 22, 2016 7:48 PM
To: Kelly Richardson
Cc: EARL Robert; Rod Yoder; PWS
Subject: Site Development Review Request for Comments, City of Aurora
Attachments: A1.0a Access drives_Aurora Project of Warren and Bernice Bean 2-15-2016.pdf; application.pdf; application_supplemental.pdf; Aurora Project Code Analysis - Warren and Bernice Bean 2-17-2016.pdf; NOTICE OF APPLICATION_SDR 16-01_FINAL.pdf

NOTICE OF LAND USE REQUEST/REQUEST FOR COMMENTS

DATE: _____

TO: _____
FROM: Renata Wakeley, Mid-Willamette Valley Council of Governments

RE: SDR-16-01, City of Aurora

The City of Aurora is soliciting any comments or conditions of approval you may wish to have considered in the City's review of the above described land use case. Questions should be directed to the staff contact below. However, any comments you would like to be considered in our review must be submitted in writing.

In order for staff to process this application in a timely manner, comments need to be back in our office by **3:00 p.m.** on **March 1, 2016**. A public hearing regarding the application is schedule before the Planning Commission on **March 1, 2016**. If we do not receive any response by this date we will assume you have no concerns.

You may use the response form below or attached a separate letter. Please return your written response to the staff contact below.

Staff Contact: Renata Wakeley E-mail: renatac@mwvcog.org
Phone: 503-588-6177 Fax: 503-588-6094

PLEASE CHECK THE APPROPRIATE ITEMS:

- We are not affected by the proposal.
- We have reviewed the proposal and determined we have no comment.
- Our comments are in the attached letter.
- Our comments are:

The proposed use and access must comply with Oregon Fire Code in effect at the time permits are issued.

Date: 2/22/16 Person Commenting: Rod Yoder - Chief Agency: Aurora RFPD

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Wakeley, Renata

From: Rod Yoder <RYoder@aurorafire.org>
Sent: Wednesday, February 24, 2016 8:45 AM
To: Wakeley, Renata
Subject: RE: Site Development Review Request for Comments, City of Aurora

Renata,

I went to the site and did a visual inspection and noticed there is no Fire hydrant near that address or even on that side of the road. Since Highway 99-E is a major arterial they would have to put a Fire Hydrant at that location we cannot cross the road with our lines.

Rod Yoder – Fire Chief

From: Wakeley, Renata [mailto:renatac@mwvcog.org]
Sent: Tuesday, February 23, 2016 6:57 PM
To: Rod Yoder
Subject: RE: Site Development Review Request for Comments, City of Aurora

Thanks Rod!

From: Rod Yoder [mailto:RYoder@aurorafire.org]
Sent: Monday, February 22, 2016 8:27 PM
To: Wakeley, Renata <renatac@mwvcog.org>
Subject: RE: Site Development Review Request for Comments, City of Aurora

Renata, I have attached the comments from the Aurora Fire District.

Rod Yoder – District Chief

From: Wakeley, Renata [mailto:renatac@mwvcog.org]
Sent: Monday, February 22, 2016 7:48 PM
To: Kelly Richardson
Cc: EARL Robert; Rod Yoder; PWS
Subject: Site Development Review Request for Comments, City of Aurora

NOTICE OF LAND USE REQUEST/REQUEST FOR COMMENTS

DATE: _____
TO: _____
FROM: Renata Wakeley, Mid-Willamette Valley Council of Governments
RE: SDR-16-01, City of Aurora

The City of Aurora is soliciting any comments or conditions of approval you may wish to have considered in the City's review of the above described land use case. Questions should be directed to the staff contact below. However, any comments you would like to be considered in our review must be submitted in writing.

Wakeley, Renata

From: Kelly Richardson
Sent: Wednesday, March 9, 2016 3:04 PM
To: Wakeley, Renata
Subject: FW: Site Development Review Request for Comments, City of Aurora 21317 Hwy 99E

Importance: High

Renata,

Here are two emails from Public Works regarding comments request for this project.

Kelly A. Richardson, CMC

City Recorder

City of Aurora

21420 Main St. NE

Aurora, Oregon 97002

503-678-1283

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From: PWS
Sent: Wednesday, March 09, 2016 3:03 PM
To: recorder
Subject: FW: Site Development Review Request for Comments, City of Aurora 21317 Hwy 99E

From: PWS
Sent: Wednesday, March 09, 2016 2:54 PM
To: PWS
Subject: RE: Site Development Review Request for Comments, City of Aurora 21317 Hwy 99E

Kelly
To add more info for the water if it needs more than a ¾" service, the Master plan calls for 10" water main to cross HWY 99, this should be C900 Pipe. It would need to be connected to existing water main that is 6" on the East side of Hwy 99 and a 4" that is on the south side of Bobs Ave. Both pipes meet at HWY 99 & Bobs.

From: PWS
Sent: Wednesday, March 09, 2016 1:31 PM
To: recorder
Subject: RE: Site Development Review Request for Comments, City of Aurora 21317 Hwy 99E

Kelly,
After meeting with Warren and you at City Hall I called Troy.

For the wastewater Troy informed me that with the kitchen and rest rooms the 4" sewer line would be adequate unless his design calls for a larger service, which would be at his cost.

For the water depending on design, if his flow would require more than a ¾ " service the line would need to be upgraded according to master plan requirements as we discussed with Warren.

If you need anything more please let me know.

Darrel

From: recorder
Sent: Wednesday, March 09, 2016 11:28 AM
To: PWS
Subject: FW: Site Development Review Request for Comments, City of Aurora 21317 Hwy 99E
Importance: High

Darrel

Here it is please look at the information and provide any comments or concerns that you may have regarding the project. This is the proposed restaurant to be built at 21317 Hwy 99E.

Thank you,

Kelly A. Richardson, CMC

City Recorder

City of Aurora

21420 Main St. NE

Aurora, Oregon 97002

503-678-1283

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From: Wakeley, Renata [<mailto:renatac@mwvcog.org>]
Sent: Wednesday, March 02, 2016 11:37 AM
To: John Ashley, P.E.; recorder
Subject: FW: Site Development Review Request for Comments, City of Aurora

John- See below and attached.

Kelly- Can you please get public works to review and provide comments?

Wakeley, Renata

From: JUSTER Gerard P *Gerry <Gerard.P.JUSTER@odot.state.or.us>
Sent: Friday, March 11, 2016 11:32 AM
To: Wakeley, Renata
Cc: BAUMGARTNER Douglas G; EARL Robert; DRAKE Ray F; KNECHT Casey; 'Warren H. Bean'
Subject: ODOT comments for SDR-16-01; Warren and Bernice Bean
Attachments: 35346_Byrnes.pdf

Dear Renata,

Thank you for notifying the Oregon Department of Transportation (ODOT) of the Site Development Review application, SDR-16-01; Warren and Bernice Bean. This letter is submitted for inclusion in the public hearing record and ODOT should be considered a party to the land use action. Please provide a copy of the land use decision, notice of any time extensions or continuances, to ODOT at the address provided below, or you may provide notice to ODOT via e-mail. Electronic format is preferred.

Planning and Development Manager
Oregon Department of Transportation
Region 2 Headquarters
455 Airport Road SE, Building B
Salem, OR 97301-5395

Electronic documents can be directed to:

ODOTR2PLANMGR@ODOT.STATE.OR.US

ODOT staff has completed a review of the submitted application and has the following comments.

The property abuts the Pacific Highway East, No. 081, State Route OR-99E, and is subject to state laws administered by the Oregon Department of Transportation. These laws may require the applicant to obtain one or more state permits to carry out the intended use of the property, or to otherwise comply with state law without need for a permit. There is an access permit for the existing access to the property. The permit was issued by ODOT in February 1996. The use identified on the permit was a Tea House Business. A copy of the permit is attached.

ODOT conducted a preapplication meeting on January 25, 2016 at the request of the applicant to discuss the proposed site plan. ODOT indicated the applicant's proposal for a new access to OR-99E would require the submittal of **An Application for State Highway Approach** (access permit application). The application would be subject to review and approval criteria in OAR 734-051. ODOT also indicated approval of the application would require removal/closure of the existing permitted access. Based on this preliminary determination the applicant should anticipate construction improvements to remove the existing access and construct the new access. Any additional highway frontage improvements will be based on any conditions of approval by the City of Aurora.

Please note the applicant should contact Robert Earl, District 3 Senior Permit Specialist at 503.986.2902 to obtain a copy of the access permit application. The applicant can submit a copy of the Land Use Notice of Decision in lieu of the Land Use Compatibility Statement as part of submitting the access permit application. There is no fee for filing the application.

Exhibit 56

At such a time if the applicant or their contractor is required to occupy state highway right-of-way to provide utility improvements resulting from conditions of approval by the City, **A Permit To Occupy Or Perform Operations Upon A State Highway** will be necessary. The permit can be obtained by contacting Robert Earl at the aforementioned phone number. The applicant or their contractor shall obtain the permit 30 calendar days prior to commencing any construction or utility improvements with state highway right-of-way.

If you have any questions please feel free to contact me at 503.986.2732.

Gerry Juster

Development Review Coordinator

Oregon Department of Transportation

855 Airport Rd SE, Bldg. Y | Salem, Oregon 97301

Office: 503.986.2732 | FAX: 503.986.2748

e-mail: gerard.p.juster@odot.state.or.us



APPLICATION AND PERMIT TO CONSTRUCT APPROACH ROAD

PERMIT NUMBER **03A35346**

HIGHWAY NAME Pacific Highway East		MILE POINT 25.2737	ENGINEERS STATION 235 + 61
HIGHWAY NUMBER 1E	COUNTY Marion	SIDE OF HIGHWAY <input type="checkbox"/> NORTH <input type="checkbox"/> EAST <input type="checkbox"/> SOUTH <input checked="" type="checkbox"/> WEST	APPROACH TO SERVE Tea House Business
BETWEEN OR NEAR 4th Street AND Bobs Ave.		HIGHWAY REFERENCE MAP AND ATTACHED DRAWING NUMBERS 1A-2-36 / Automated Milepoint Log	
APPLICANT NAME AND ADDRESS Mike Byrnes 21317 Hwy 99E Aurora, OR 97002		BOND REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	REFERENCE OAR 734-50-025(6)
		INSURANCE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	REFERENCE OAR 734-50-025(3)
		AMOUNT	\$50.00
		DISTRICT MAINTENANCE SUPERVISOR OR REPRESENTATIVE X Elizabeth A. Hunt	DATE COMPLETE APPLICATION RECEIVED 2/13/96
TELEPHONE NUMBER: (503)244-0012		REGION ENGINEER OR REPRESENTATIVE X	DATE
APPLICANT X Mike Byrnes		PERMIT SUPERVISOR X Linda Stoneman	APPROVAL DATE 2/10/96
APPLICATION DATE 1/26/96		APPROACH ROAD COMPLETION REFERENCE: OAR 734-50-050(4) February 1, 1997	

The applicant declares that he/she is the owner or lessee of the real property adjoining the above described highway and has the lawful authority to apply for this permit. When this application is approved by the Department of Transportation, the applicant is subject to the terms and provisions contained herein and attached hereto; and the terms of Oregon Administrative Rule, Chapter 734, Division 50, which is by this reference made a part of this permit. Copies of the Rule may be obtained from the District Maintenance Supervisor's office.

Issuing of permits under these regulations is not a finding of compliance with the statewide planning goals or the acknowledged comprehensive plan for the area. Permits are issued subject to the approval of city, county or other governmental agencies having either joint supervision over the section of highway or authority to regulate land use by means of zoning and/or building regulations. It shall be the applicant's responsibility to obtain any such approval including, where applicable, local government determination of

SPECIAL PROVISIONS

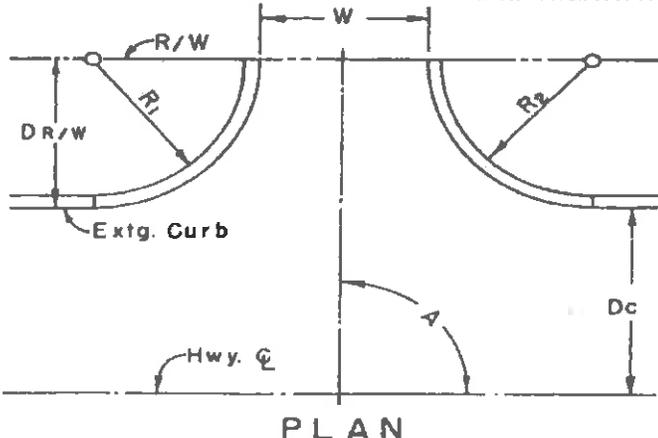
1-- If the proposed application requires traffic control devices and/or special road construction, the applicant shall provide a copy of this

LOCAL GOVERNMENT OFFICIAL SIGNATURE X	TITLE	DATE
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2-- Within 48 hours before beginning work, and after completing the permit work, the applicant or his contractor shall notify the District Representative at telephone number: **(503) 986-5776**

3- For additional special provisions, see attached.

TYPE 5 APPROACH ROAD — CURBED HIGHWAY



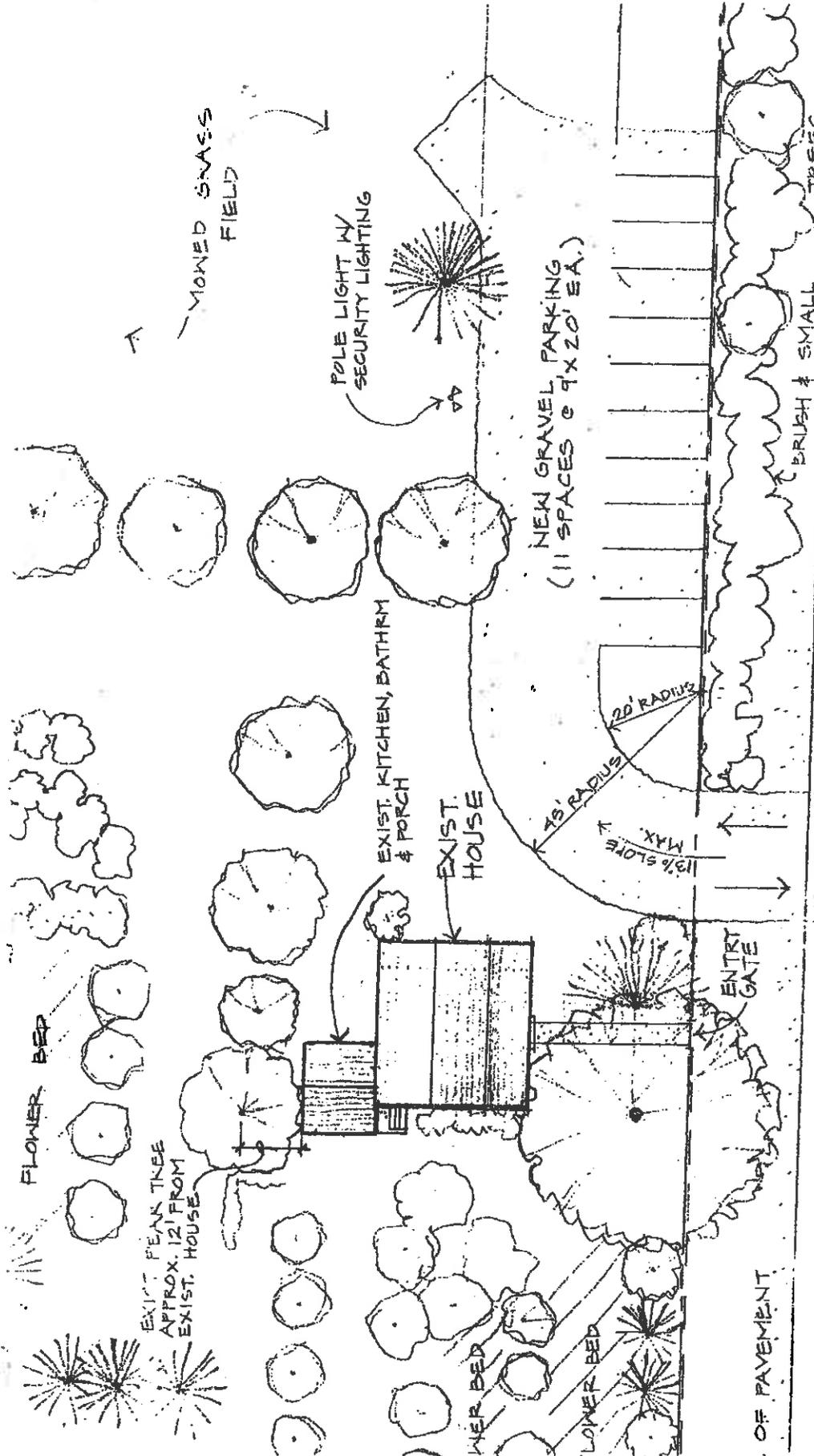
NOTE: All material and workmanship shall be in accordance with the current State of Oregon Standard Specifications for Highway Construction

W = 24'	R ₁ = 40'	R ₂ = 16'	A = 90°
D _C = 29' +/-	D _{R/W}	CURB TYPE "C"	
STONE BASE	SIZE AND TYPE 1 1/2"-0	COMPACTED THICKNESS (INCHES) 11"	
STONE WEARING SURFACE	SIZE AND TYPE 3/4"-0	COMPACTED THICKNESS (INCHES) 4"	
ASPHALT CONCRETE PAVEMENT	CLASS "C"	COMPACTED THICKNESS (INCHES) 6"	

SPECIAL PROVISIONS FOR ACCESS

03A35346

- ✓1. Traffic control will be according to the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Oregon D.O.T. Supplements thereto.
- ✓2. The applicant or his contractor shall notify the District 3 Permit Inspector at 378-2630 forty-eight (48) hours prior to commencing work and after completing the work covered by this permit.
- ✓3. All rock shall be from a source that is certified by the State.
- ✓4. Stone base and leveling course shall be 1"-0 or 3/4"-0 size rock compacted at optimum moisture in 6" layers to 95% or greater of the maximum density by standard AASHO T99 Method.
- ✓5. Surface shall be a minimum of ^{6"}4" of hot AC mix compacted in 2" lifts by standard AASHO T99 Method.
- ✓6. Approaches shall be designed so that drainage runoff from the approach will not run on or across the highway shoulder area.
- ✓7. Wherever a sidewalk is cut, the entire width of the sidewalk shall be replaced for the length of the cut. New section of walk will conform to current Highway Division standards.
- ✓8. Permittee shall immediately replace any landscape vegetation that is destroyed. Any damage that is not fully recovered within one year shall be replaced by permittee.
- ✓9. The permittee shall not use the right-of-way to display advertising signs or merchandise of any kind.
- ✓10. The spreading of mud or debris upon any State Highway is strictly prohibited and violation shall be cause for immediate cancellation of this permit. Clean-up shall be at applicant's expense.
- ✓11. A copy of the permit and all attachments shall be at the work site and be available to the District Maintenance Supervisor and his representative at their request.
- ✓12. Plans are approved in general only. Field changes may be required by the District Maintenance Manager or his representative.



03A35346

4' @ HWY

← HWY. 99E →

25'

SITE PLAN

21317 99E

Aurora



Wakeley, Renata

From: JUSTER Gerard P *Gerry <Gerard.P.JUSTER@odot.state.or.us>
Sent: Thursday, March 17, 2016 10:31 AM
To: Wakeley, Renata
Cc: BAUMGARTNER Douglas G; EARL Robert; DRAKE Ray F; KNECHT Casey; 'Warren H. Bean'
Subject: RE: ODOT comments for SDR-16-01; Warren and Bernice Bean
Attachments: developer donation documents.pdf

Hi Renata,

Thanks for your response. I have tried to provide responses to your questions from your previous message.

ODOT does not require property dedication for right-of-way widths specified in the TSP. This would need to be a condition of approval that comes from the City. If ODOT is to become the recipient of the dedication, we will provide guidance and direction to the applicant as to what documents will need to be provided to complete the dedication process. Attached, for your information, are the documents we share with applicants when a developer or private party donation occurs. This is from our Right-of-way Manual where it mentions developer donations.

The same applies for frontage improvements such as widening of travel lanes (travel or bike/shoulder) drainage curb, gutter, landscape strips and sidewalk. ODOT will not require those items as approval of the access permit. Our authority is specifically tied to the approval of the location, size and type of access. As mentioned in ODOT's comment letter other highway frontage improvements would need to be conditions of approval by the City.

One word of caution here, it is important to be consistent with conditions of approval for both of our agencies so applicants are treated in a similar fashion. Much is made these days about nexus. That said, does the City's development code and/or TSP require or recommend the frontage improvements? This is an important distinction. From ODOT's perspective, that would be important to know as we work with various applicant's and City staff. I think it would be important for ODOT and the applicant to know if the City has any latitude about the frontage improvements. For example, a letter of non-remonstrance.

We are committed to work closely with both City staff and applicant's. To do that it would be helpful to know what consistent expectations and requirements will be. Feel free to contact me if you want to discuss this in more detail.

Thank you,

Gerry Juster
Development Review Coordinator
Oregon Department of Transportation
855 Airport Rd SE, Bldg. Y | Salem, Oregon 97301
Office: 503.986.2732 | FAX: 503.986.2748
e-mail: gerard.p.juster@odot.state.or.us

From: Wakeley, Renata [mailto:renatac@mwvcog.org]
Sent: Wednesday, March 16, 2016 12:09 PM
To: JUSTER Gerard P *Gerry
Cc: BAUMGARTNER Douglas G; EARL Robert; DRAKE Ray F; KNECHT Casey; 'Warren H. Bean'
Subject: RE: ODOT comments for SDR-16-01; Warren and Bernice Bean

Gerry,

Thank you so much for your prompt review and response.

The 2009 Aurora TSP identifies OR 99E as requiring sidewalks, bike lanes and parking to Bob's Avenue and then transitioning to bike lanes and sidewalks south of Bob's Avenue (page 3-17 of the TSP). In addition, Figure 3-2 shows a Principal Arterial (State) as requiring an **84' ROW** with an 8' sidewalk, 6' planter, and 6' bike lane on both sides of Highway 99E.

Currently, 99E appears to have a ROW of 80 feet along the fronting subject property. Will ODOT require dedication of an **additional 2 feet** from the property owner?

Also, will frontage improvements be requested by ODOT based upon the adopted TSP? See comments from City Engineer under Exhibit D- also attached.

I can try to send you a copy of the full TSP but due to the file size, I am not sure I can email it and may need to send you an ftp link.

Regards,

Renata Wakeley, Community Development Director
Mid-Willamette Valley Council of Governments
100 High Street SE, Suite 200
Salem, OR 97301
(ph) 503-540-1618
(fx) 503-588-6094

From: JUSTER Gerard P *Gerry [<mailto:Gerard.P.JUSTER@odot.state.or.us>]
Sent: Friday, March 11, 2016 11:32 AM
To: Wakeley, Renata <renatac@mwvcog.org>
Cc: BAUMGARTNER Douglas G <Douglas.G.BAUMGARTNER@odot.state.or.us>; EARL Robert <Robert.Earl@odot.state.or.us>; DRAKE Ray F <Ray.F.DRAKE@odot.state.or.us>; KNECHT Casey <Casey.KNECHT@odot.state.or.us>; 'Warren H. Bean' <Warren.Bean@northp.com>
Subject: ODOT comments for SDR-16-01; Warren and Bernice Bean

Dear Renata,

Thank you for notifying the Oregon Department of Transportation (ODOT) of the Site Development Review application, SDR-16-01; Warren and Bernice Bean. This letter is submitted for inclusion in the public hearing record and ODOT should be considered a party to the land use action. Please provide a copy of the land use decision, notice of any time extensions or continuances, to ODOT at the address provided below, or you may provide notice to ODOT via e-mail. Electronic format is preferred.

Planning and Development Manager
Oregon Department of Transportation
Region 2 Headquarters
455 Airport Road SE, Building B
Salem, OR 97301-5395

Application – Commercial Site Plan Review

City of Aurora – File No. SDR-16-01

TO: Renata Wakeley/*City Planner*

FROM: John Ashley, P.E./*City Engineer*

COPIES: Kelly Richardson/*City Recorder*
Darrel Lockard/*Public Works*

PROJECT: **Commercial Site Plan Review – Hwy 99 Restaurant and Retail Building at 21317 Hwy 99E**

DATE: March 14, 2016

Background

I received a copy of the application for site plan review provided by applicants Warren and Bernice Bean with a request by the City of Aurora to review and respond. The application is for a new restaurant and retail building located next to the existing house located at 21317 Highway 99E.

This application was reviewed for conformance with the applicable public works portions of the City of Aurora Municipal Code (AMC) and the City of Aurora Public Works Standards (PWS). Where the PWS are silent, the Marion County Public Works Standards followed by the Oregon APWA/ODOT Standards were reviewed. It is recommended that City Staff, Fire Department and Planning Commission review this memorandum in conjunction with their review of this application.

Project Overview

Project Site and Access

The application shows the location of the proposed development to be within Township 4 South, Range 1 West, Section 13BA, Tax Lot 02300. Proposed vehicular access to the development is from a new driveway approach located along Highway 99E. There is an existing driveway just north of the existing house that is proposed to be removed.

Existing Site Topography

Existing site topography was provided with the application. The application site plan shows that the site is generally sloping westerly with some areas of the topography that exceeds 12 percent.

Existing Utilities

Available City utility mapping indicates that there is an existing sanitary sewer system (10" gravity next to a 6" pressure force main) and a fiber optic line located on the east side of Highway 99E as well as a 2" water service and existing high pressure gas mains located on the west side of Highway 99E. There may be other utility systems located within Highway 99E as well.

Findings

Transportation

- **Right of Way (R/W) –**
 - **Highway 99E** – The City's TSP classifies Oregon State Highway 99E as a Principal Arterial (State) under ODOT jurisdiction. Tax assessor mapping shows that the ODOT R/W is currently 80' along the frontage of Highway 99E. Table 3-1 of the City's TSP and AMC 16.34.030 recommends an 84' R/W. However, this frontage is controlled by ODOT and any R/W dedication requirements are to be as determined by them. The Developer should coordinate any R/W dedication requirements with the ODOT Development Review Coordinator.
- **Streets –**
 - **Street Improvements** – Highway 99E along the frontage is currently an existing turnpike style street with half-street improvements located along the east side of the Highway from Bob's Avenue north. Table 3-1 of the City's TSP and AMC 16.34.030 show the recommended street section. A half-street improvement consisting of paving, curb and gutters, sidewalks, storm drainage, etc., is suggested along this frontage. However, since the frontage is controlled by ODOT, any street improvement requirements are to be as determined by them. The Developer should coordinate any street improvement requirements with the ODOT Development Review Coordinator.
 - **Driveways –**
 - **Existing Approach** – There is an existing driveway approach that currently serves this property just north of the existing house. The application site plan shows a new driveway approach along Highway 99E to align with Bob's Avenue and the existing driveway is to be removed. As such, modifications to the driveway approaches shall be as approved by ODOT.
 - **Access Spacing** – The existing driveway for Tax Lot 02400 appears to be approximately 30' to 35' edge to edge from the new proposed driveway. Table 3-3 of the City's TSP and AMC 16.34.030 shows that the minimum access spacing from the intersection of public or private accesses along a Principal Arterial (County) is 300' min. However, an access spacing standard for Highway 99E (Principal Arterial (State)) was not included in the City's TSP or AMC since the

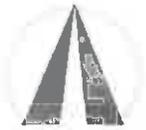


frontage is controlled by ODOT. As such, the access spacing requirements will need to be reviewed by ODOT and the new driveway approach is to be as approved by them.

- **Clear Vision Areas** – Adequate sight distances shall be provided in accordance with ODOT and AASHTO guidelines. Landscaping shall be designed to prevent future obstruction of the clear vision area.
- **Parking Lot** –
 - **Parking Lot Access Route** – The parking lot access route shall comply with standard engineering practice and the AMC. The design shall minimize congestion and take into account both vehicle traffic and pedestrian traffic. All traffic circulation patterns shall be designed to accommodate emergency vehicles as necessary.
 - **Parking Lot Lighting** – Parking lot lighting shall be in accordance with the AMC. The type, spacing, and location of parking lot lighting shall be as approved by the City.
- **Engineered Plans** – Prior to building permit approval, the Developer shall submit to the City for review an engineered street improvement plan conforming to ODOT and Public Works Standards, unless street frontage improvements are not required by ODOT or if deferral of the improvements is granted by the City and ODOT through a Deferred Improvement/Non-Remonstrance Agreement.

Water

- **Domestic Water Service and Backflow Prevention** – The application site plan does not show where the existing service is or if any improvements are necessary. There is an existing 2" water service located along Highway 99 which currently serves this property. It is anticipated that this water service will not provide the necessary domestic or fire protection service required for this Development. As such, the existing water service requirements will need to be reviewed and upgraded as necessary by the Developer in accordance with Public Works Standards. In addition, an appropriate backflow prevention device shall be provided as necessary. All backflow prevention details will need to be reviewed and approved by the Marion County Building Department and the Fire Marshall, as applicable. Only Oregon Health Authority – Drinking Water Program (OHA-DWP) approved backflow devices shall be used.
- **Fire Protection** – Unless otherwise approved by the Fire District, fire hydrant(s) are generally required to be installed within 250' of any new structure. As such, the Developer shall review existing fire hydrant locations and comply with the fire protection requirements of the Fire District and Public Works Standards. Prior to building permit approval, the Developer shall provide documentation that the Fire District has reviewed and approved any and all required fire protection devices, systems, and access routes.
- **Engineered Plans** – The Developer shall submit to the City for review and approval an engineered water system plan conforming to Public Works Standards and meeting the requirements of the Building Official and Fire District. A utility easement shall be



provided if a public water main and/or fire hydrant is extended outside the public right-of-way.

Sanitary Sewer

- **Sanitary Sewer** – The application site plan does not show where the existing service is or if any improvements are necessary. Existing utility mapping shows that a 4" sanitary sewer service currently serves the property. It is anticipated that this 4" sanitary sewer service will not provide the necessary sewer service required for this Development. As such, the existing sanitary sewer service requirements will need to be reviewed and upgraded as necessary by the Developer in accordance with Public Works Standards.
- **Engineered Plans** – If modifications to the public sanitary sewer system are needed, then prior to building permit approval, the Developer shall submit to the City for review and approval an engineered sanitary sewer system plan conforming to Public Works Standards and meeting the requirements of the Building Official.

Stormwater

- **Stormwater Quality** – Best management practices shall be used to minimize any degradation of stormwater quality caused by the Development. At a minimum, catch basins and manholes shall provide sediment and grease traps. Other methods may also be proposed for review.
- **Storm Water Detention** – Stormwater detention will need to be provided in accordance with Marion County Public Works Standards. The detention facility shall be sized such that it will at minimum detain the difference between a 5-year storm for pre-developed conditions and a 10-year storm for developed conditions. The allowable outflow rate shall be the 5-year storm for pre-developed conditions.
- **Site Topography** – Existing site topography and storm drainage flow patterns will need to be considered in the design so that stormwater runoff from the development will not harm or inconvenience any adjacent property.
- **Off-Site Drainage Improvements** – It shall be the responsibility of the Developer to provide a suitable discharge location for stormwater from the development which will not harm or inconvenience any neighboring property. An acceptable point of discharge is to be designed by the Design Engineer and approved by the City. A new storm drain conveyance system may need to be extended offsite in order to provide for an acceptable point of discharge.
- **Stormwater O&M Plan and Agreement** – Stormwater operation and maintenance of the private detention facility will be the obligation of the property owner. As deemed appropriate by the City, a maintenance agreement may be required from the Developer, as approved by the City Attorney, to ensure future operation and maintenance of the stormwater detention system.

- **Engineered Plans** – Prior to building permit approval, the Developer shall submit to the City for review and approval engineered stormwater plans and a drainage study/calculations conforming to the Public Works Standards.

Erosion and Sediment Control

- **Erosion Control** – An erosion and sediment control plan shall be submitted for review and approval prior to any site grading or earth disturbing activities.

Franchise Utilities

- **Franchise Utility Improvements** – All franchise utility improvements, including but not limited to, telephone, electrical power, gas and cable TV shall meet the current standards of the appropriate agency as well as the Public Works Standards.

General Public Works Requirements

Prior to Submittal of Engineered Plans

- **Funding** – The Developer shall be responsible for all costs relating to the required public improvements identified for the project within the AMC, the Public Works Standards, and the conditions of approval.
- **Design Standards** – Where public improvements are required, the public improvements shall be designed to the PWS plus the requirements of the AMC. Where the PWS are silent, the Developer's Engineer shall coordinate with the City Engineer on appropriate standards to be used.
- **Surveys** – Surveys for public improvements shall be performed under the direction of a Professional Land Surveyor registered in the State of Oregon. Vertical benchmark locations shall be coordinated with the City.
- **Engineered Plans** – Engineered plans for public improvements shall be prepared under the direction of a Professional Engineer registered in the State of Oregon. Engineered plans shall be reviewed and approved by the City prior to construction.
- **Utility Coordination** – It is recommended that all utility companies and public agencies be notified early in the design process and in advance of construction, to coordinate all parties impacted by the construction.
- **SDC** – Systems Development Charges will be applied at the time of issuance of a building permit.

Prior to Final Approval of Engineered Plans

- **Plan Revisions and Review Memo Responses** – Any noted revisions to the engineered plans shall be made and the revised plans shall be re-submitted for review and approval. A minimum of 3 sets of plans shall be submitted for review by the City. Included with



the re-submitted plans shall be a copy of this review memo with the appropriate hand written responses or a typed memo addressing each comment.

- **Conditions of Approval** – The conditions of approval stated for the project shall be reviewed and incorporated prior to plan re-submittal. All conditions of approval will need to be met to the satisfaction of the City Planner and Public Works Superintendent.
- **Agency Approvals** – Documentation shall be provided to the City that the plans and specifications have been approved by all applicable local, State and Federal agencies having jurisdiction over the work. This may include, but is not limited to, the City of Aurora, Fire District, ODOT, DHS-DWP, DEQ, etc.

Prior to Construction

- **Construction Specifications** – Where public improvements are required, the public improvements shall be constructed to the PWS plus the requirements of the AMC. Where the PWS are silent, the most current edition of the ODOT/APWA Standard Specifications for Construction shall be used.
- **Design Engineer's Estimate** – An estimate performed by the Design Engineer of the proposed costs for construction of the public improvements shall be provided to the City for review and acceptance. This is necessary to determine the amount of bonding required for the project.
- **Construction Bond** – Where public improvements are required, a performance guarantee is required to be in place, prior to construction. The Developer shall provide a construction bond, or other form of performance guarantee acceptable to the City Attorney, in the amount of 125% of the estimated cost of construction. In addition, the Developer shall execute an agreement with the City Attorney regarding the repair, at the applicant's expense, of any public facilities damaged during development. (AMC 16.34.140)
- **Permits, Insurance, and Indemnification** – All required permits, insurance, and indemnification shall be obtained and provided to the City before construction may begin.
- **Pre-Construction Conference** – A pre-construction conference shall be held prior to construction.

During Construction and Project Completion

- **Construction Inspection** – Periodic inspection by the Design Engineer will be required to assure the construction is following the approved plans and specifications. Any supplemental construction observation by the City does not relieve the Design Engineer of providing the required inspection.
- **Project Completion** – The Design Engineer shall provide a completion report that certifies to the City that the project was constructed in accordance with the approved plans and specifications in accordance with AMC 16.34.200.



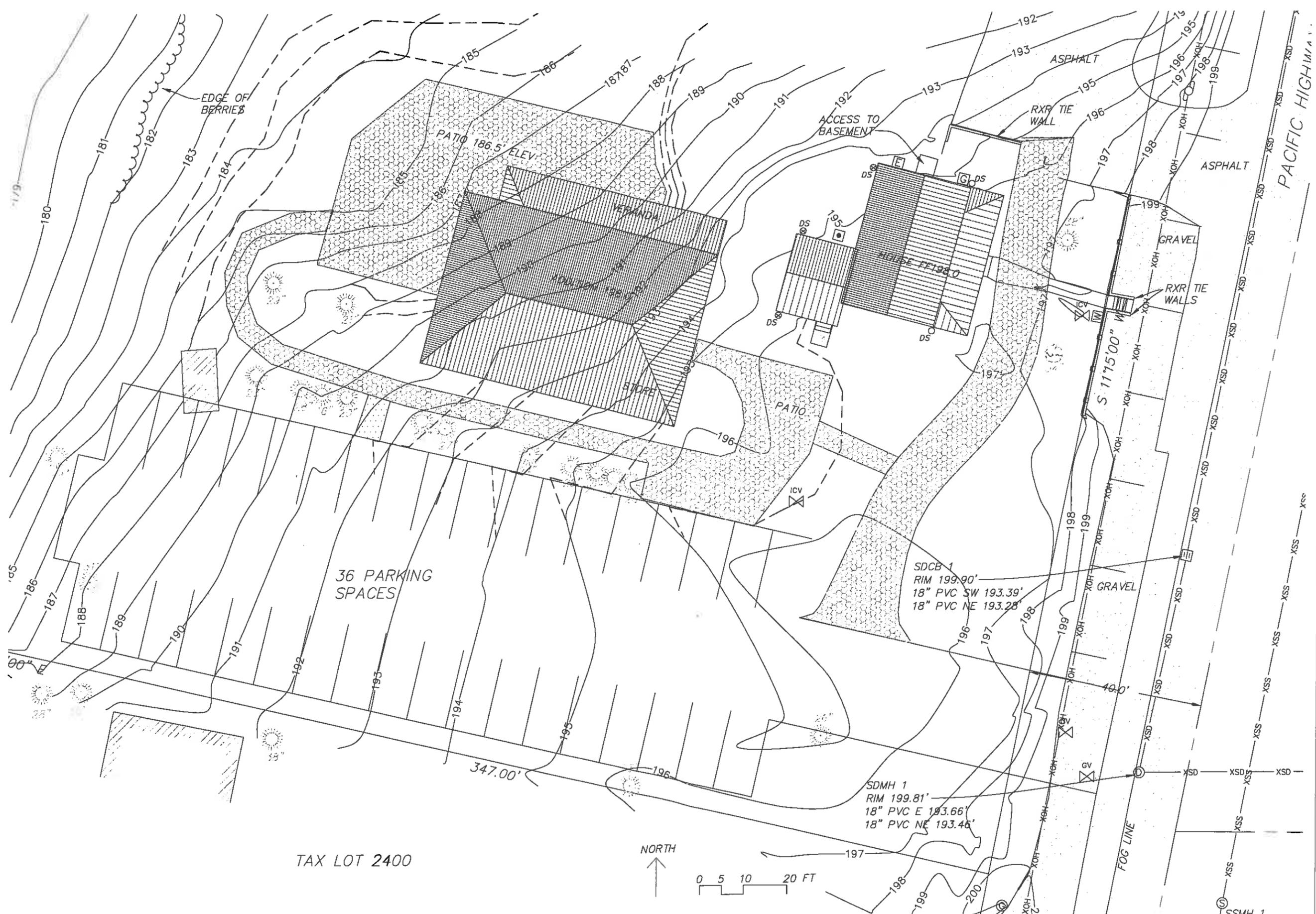
- **Record “As-Built” Drawings** – The Design Engineer shall submit to the City reproducible as-built drawings of all public improvements constructed during and in conjunction with the project. Field changes made during construction shall be drafted on the plans in the same manner as the original plans with clear indication of all modifications (strike out old with new added beside). As-built drawings shall be submitted prior to the initiation of the one-year warranty period.

Final Acceptance of the Project

- **Warranty Release and Final Acceptance** – Where public improvements are required, acceptance of completed public street improvements associated with the project shall be in accordance with AMC 16.34.190.

Recommended Public Works Conditions of Approval

1. The following engineered plans and supporting documentation shall be submitted prior to, or concurrently with, the building permit plan set to the City for review and approval prior to any City permit issuance.
 - a. Street improvement plans shall be submitted conforming to ODOT and Public Works Standards. A Deferred Improvement/Non-Remonstrance Agreement for the improvements shall be required if deferral is granted by the City and ODOT.
 - b. Water system plan conforming to Public Works Standards for any work in public right of way that modifies the public water system.
 - c. Sanitary sewer system plan conforming to Public Works Standards for any work in public right of way that modifies the public sanitary sewer system.
 - d. Stormwater plan and drainage study/calculations conforming to Public Works Standards.
 - e. An erosion and sediment control plan for the site grading or earth disturbing activities.
2. The Developer shall obtain a permit from ODOT for any work in the ODOT R/W for street, water, sanitary sewer, storm drainage, or private utility work.



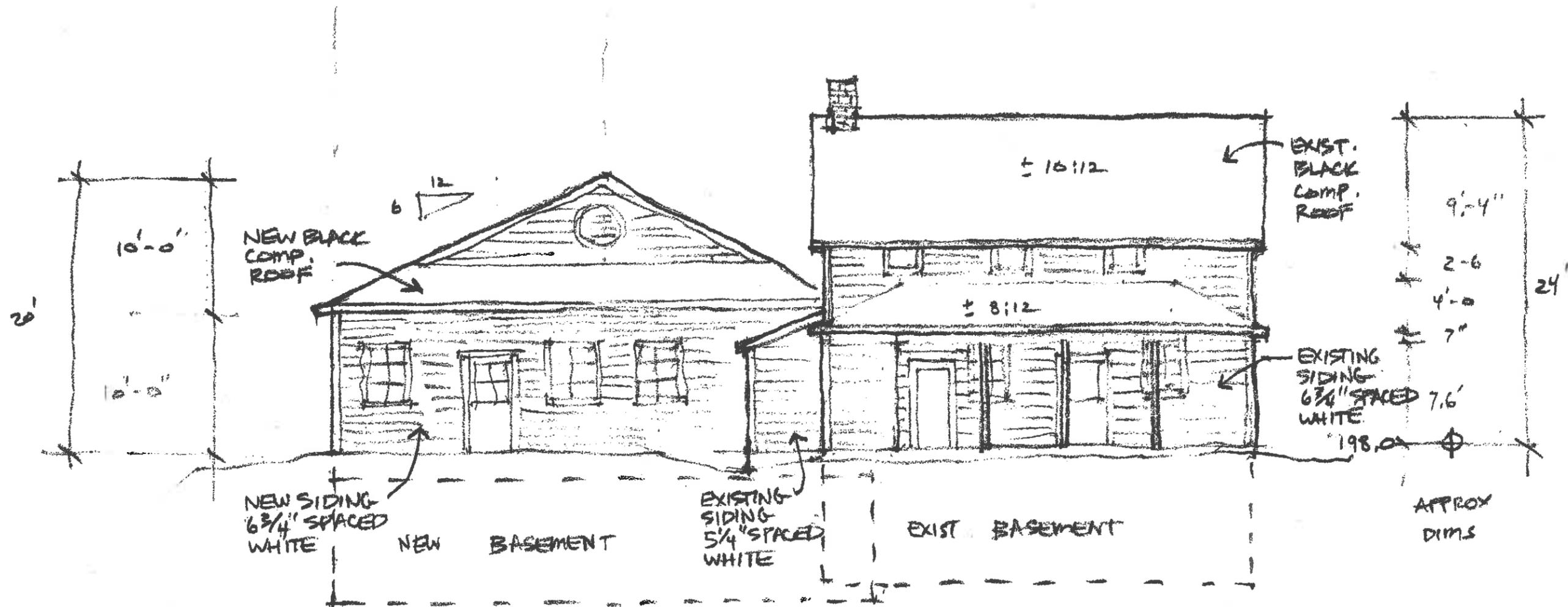
ARON
FAEGRE
AIA, PE
520 SW YAMHILL
PORTLAND
OREGON
97204
503-222-2546
faegre@earthlink.net

WARREN & BERNICE BEAN
AURORA
RESTAURANT PROJECT
21317 HWY 99 E - AURORA, OREGON 97002

DATE PLAN
MIB: 2-15-16
CHECKED BY
AF

NO.	DATE	REVISIONS

PAGE:
A2.0a



NEW ADDITION
 88 FT FROM PROP.
 LINE (59 FT BEHIND
 FRONT OF HISTORIC
 HOUSE FRONT)

← → EXISTING HISTORIC HOUSE
 29 FT FROM PROP. LINE

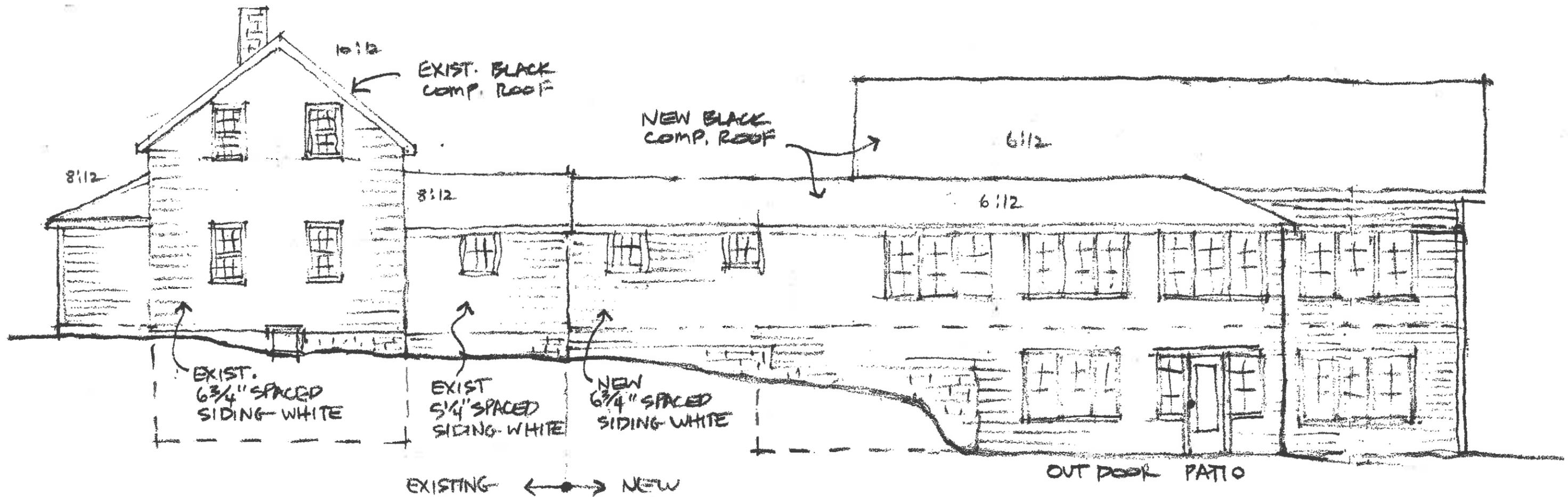
EAST ELEVATION - WARREN & BETNICE BEAN PROJECT

1/8" = 1'-0"

2-15-2016



A3.0
 Aron Faegre
 520 SW Yamhill St.
 Roofgarden 1
 Portland, OR 97204
 faegre@earthlink.net



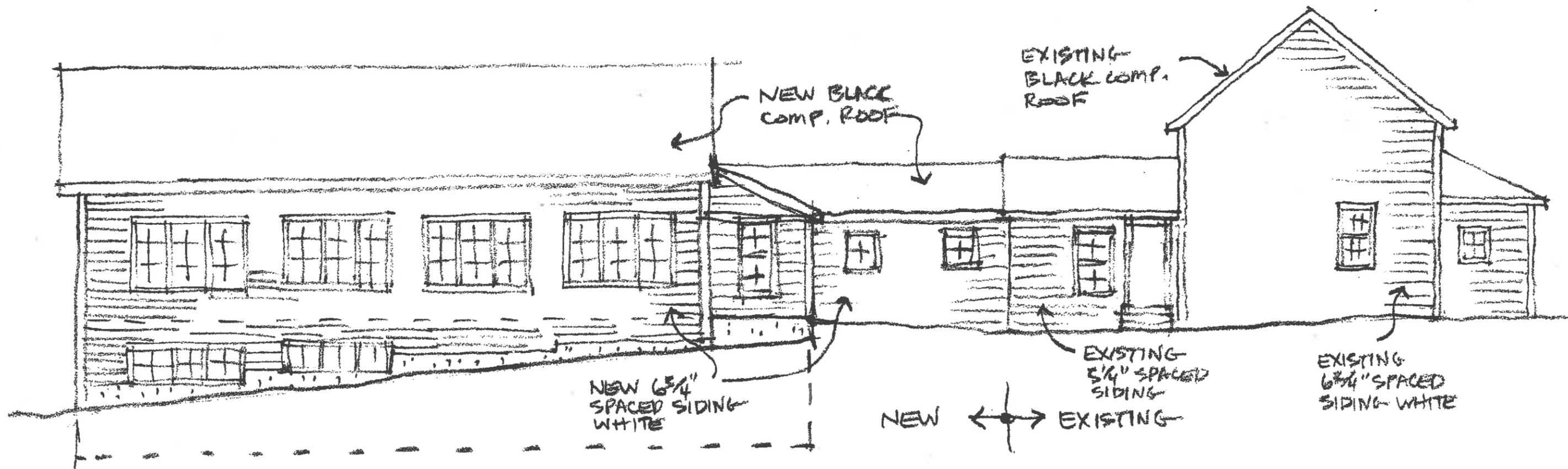
NORTH ELEVATION - WARREN & BEZNICE BEAN PROJECT

1/8" = 1'-0"

2-15-2016



A3.1
 Aron Faegre
 520 SW Yamhill St.
 Roofgarden 1
 Portland, OR 97204
 faegre@earthlink.net



SOUTH ELEVATION - WARREN & BERNICE BEAN PROJECT

1/8" = 1'-0"

2-15-2016



A3.2

Aron Faegre
 520 SW Yamhill St.
 Roofgarden 1
 Portland, OR 97204
 faegre@earthlink.net

Exhibit B16



WEST ELEVATION — WARREN & BERNICE BEAN PROJECT

1/8" = 1'-0"

2-15-2016



A3.3

Aron Faegre
 520 SW Yamhill St.
 Roofgarden 1
 Portland, OR 97204
 faegre@earthlink.net

Exhibit B17

**Aurora Restaurant Project - Additional Information
Warren & Bernice Bean**

Code Analysis

February 22, 2016

Additional Information Requested by City Planner:

A) The total square footage of the addition- specified by rooms such as store, toilets, restaurant, office space, storage etc. Please also provide the sq footage of the proposed patio.

Main Floor (2,950 sf):

Dining	1500
Kitchen	500
Storage	200
Restrooms	250
Corridors	200
Stairs	300

Lower Daylight Basement (2,700 sf):

This space will initially be unfinished and is for expansion if the project is successful. If finished out in the future it would likely be:

Dining	850
Kitchen	300
Storage	800
Restrooms	250
Corridors	200
Stairs	300

Outdoor Spaces:

Front Patio	150
Rear Patio	1900

Note: All of the areas listed are approximate and represent the usable square feet. We request that some flexibility be maintained for building size, by plus or minus 20%. The detailed design of the kitchen, which will be determined by the final selection of menu, can't be accomplished until the construction drawing stage of design is undertaken. The kitchen design can potentially require changes to the proportions of the interior spaces. The overall goal is that the seating areas are looking out over the very attractive existing landscaping and paths in the interior of the site (which currently needs maintenance since it is somewhat overgrown with blackberries). So that view will be the predominant force in the determinant of the final interior layout.

B) Drawing A2.0 shows enclosed "toilets" space connecting to the existing structure but drawing A2.0a does not show a connection. Is this the 2nd story?

Exhibit B9

Drawing A2.0a shows the addition disconnected as a site layout option, should that be preferred by the City as an adjustment. If the addition is disconnected then the restrooms (which were located to serve both the existing and new space alongside a connecting corridor) would be placed more interior on the main floor and the overall Main Floor size would reduce to 2,700 sf.

C) A lighting plan will need to be submitted. This can be condition as a staff level review but if one is available, please submit for HRB and PC review as well.

We don't have a detailed lighting plan at this time so will be appreciative if that can be a condition at staff level review.

D) Do you have the approved access permit from ODOT yet or any correspondence with them that you can submit with the application?

We have not yet applied to ODOT, however Warren Bean and Aron Faegre met with three ODOT staff in Salem on January 28th at 2pm, and showed them the same site plan we have submitted with this application. We learned that the existing driveway is fully legal and could be re-used. We requested that the existing driveway be allowed to remain with the addition of the new proposed driveway. However we learned with certainty that only one driveway would be allowed by ODOT. They gave us the application materials and said that they could see no reason that the new driveway wouldn't be approved as a replacement for the existing driveway, as long as the property title does not contain any conditions of control of access. Warren Bean has checked the property title and finds that there are no controls of access listed, so the revised access appears fully approvable by ODOT. They said that the existing driveway could remain open during construction of the addition so that the new driveway would be a construction driveway for that period of time. However at the end of the project the old driveway would have to be completely removed from the right-of-way. We asked if the existing driveway could simply be gated so that it could still be used for emergency or on an occasional basis. They said no, it would have to be completely removed. They also explained that ODOT permits are available if any new utilities need to be connected in the street. They said that the first 20 feet of driveway at the property line would need to be asphalt to make access to Highway 99 easy for cars. This paragraph is my memo record of the meeting.

E) The application states the garbage enclosure location is shown on the drawings but information on the garbage enclosure materials is not provided. Please provide materials and specifications for the enclosure.

The structure of the enclosure would be CMU (concrete masonry units) and the exterior finish would be wood siding painted white to match the building.

F) What will be parking lot be made of? Asphalt or gravel?

The parking lot would be gravel, with the exception of the first 20 feet at the property line, which would be asphalt as required by ODOT. In addition, there would be a small area paved for ADA parking, adjacent to an accessible walkway at the front north side of the parking area.

Design Guide for Historic District Properties

Appendix A of

City of Aurora Municipal Code
Title 17

Historic Preservation
Including Appendix A
Design Guide for Historic District Properties

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Appendix~~PPENDIX~~

- A. Design Review Guidelines for Historic District Properties
- B. Franchise Ordinances.

Acknowledgements

This “Design Guide for Historic District Properties” has been revised from Design Review Guidelines for Historic District Properties as Appendix A of Aurora Municipal Code Title 17. This updated version and the original document were written through the efforts and contributions of the Aurora Vision Process, City of Aurora staff, Historic Review Board and Volunteers.

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In 2002 a revision of the document was completed in order to edit and reorganize the guidelines, combine residential and commercial material into one manual and add information for infill and new construction. The revision was funded from Rural Investment Funds through the Mid-Willamette Valley Council of Governments. Consultant Carrie Richter assisted the following Historic Review Board volunteers:

—————Diane Anderson

Karen Townsend

Ferri Lee Roberts

Nicole Rubel

Mike Ausec

Disclosure

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Interior, Washington D.C. 20240. The activity that is subject of this “Design Guide for Historic District Properties” has been financed **in part/entirely** with Federal funds from the National Park Service, U.S. Department of the Interior. However, the contents and opinions do not necessarily reflect the views or policies of the Department of the Interior, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior.

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Introduction

History and Background

The Aurora Colony

The community of Aurora Mills, Oregon was founded in 1856 by William Keil as a German Christian Communal Society. The Aurora Colony was one of very few such experiments to succeed in western America during the nineteenth century; the Society shared characteristics with some of America's better-known societies such as the Shakers, the Amana Colony, the Zoar Colony and the Harmonists. Members of these groups generally believed that Christians ought to literally share labor and ~~property, property~~ and that they should produce their own crafts and build their own homes and businesses.

Nearly 400 of Keil's followers practiced Christian communal living at Aurora from the ~~eolonyColony~~'s founding in 1856 until 1883. -During this 27 year period, the colonists were widely respected in Oregon because of their commitment to the Christian ideals of cooperation and service. The ~~eolonyColony~~'s hotel was renowned for its German food, and the community band traveled throughout Oregon performing at special events. -After Keil's death in 1877, the colonists decided that the ~~eolonyColony~~ was no longer practical, and the experiment came to an end.

After the ~~eolonyColony~~ disbanded, many former ~~eolonyColony~~ members continued to live and work in Aurora Mills, which was incorporated as Aurora in 1893. -The communal society quickly converted to a market economy; by 1900 the census revealed broad business representations and an increasingly diverse ethnic population. -Still, the city's Germanic heritage was much in evidence in the population, the buildings and sites.

The two world wars and the Great Depression adversely affected Aurora's economy, as did the population shift away from rural areas. -In 1956, however, a significant number of Aurora ~~ColonyColony~~ descendants were still living in town; the centennial celebration held that year attracted thousands of visitors. -This unexpected public interest in Aurora's communal heritage encouraged a few individuals to begin the preservation of buildings, sites and artifacts.

The Aurora Colony ~~Historical Society~~ ~~Historical Society~~

The formal result of this grassroots movement was the organization of the Aurora Colony Historic Society in 1963 and the opening of the Ox Barn Museum, (now the Old Aurora Colony Museum) in 1966. -Society members are now the caretakers for an increasing collection of ~~Ceolony~~ artifacts, buildings and sites.

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Recognizing that such preservation could not be accomplished alone, members initiated a partnership of preservation with the City of Aurora, the state of Oregon and the federal government.



Figure 1. Southeast view of Aurora, c. 1889, as seen from the site of the Colony Church.

National Historic District Status

This relationship culminated in the establishment of the Aurora National Historic District in 1974, a designation granted by the United States Government's Department of the Interior. A section of Aurora was honored as Oregon's first national historic district. This recognition was awarded because of Aurora's unique communal heritage, and because of the large concentration of surviving structures built by German craftsmen.

The Historic Overlay Zone

While the Department of the Interior and the Oregon State Historic Preservation Office have standards and guidelines for National Historic District, the preservation of a district is largely a local responsibility. The process of acquiring a historic preservation zone was initiated by residents, museum and historical society members and gained city council support in the mid-1980's. On December 28, 1988, after extensive input by residents, the city council adopted a Development Code establishing the Aurora Colony Historic Overlay District. **Like the National Register, historic preservation zoning honors an area's historic significance, but with that recognition, all exterior work on buildings or sites, from any new construction to alteration, demolition or relocation is reviewed to ensure that the community's visual character is preserved.**

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Aurora's Architectural Character

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The architecture of the Aurora Colony reflects the colonyColony's communal ownership in its standard design and large scale, as the houses were built for large families and unmarried relatives. Commercial buildings were also built to a large scale, as they often contained several trades under one roof.

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- The village had an order and a pattern. Commercial and residential buildings were regularly spaced; the location of the Ox Barn (now the Old Aurora Colony Museum) and the Charles Snyder house reflect this typical pattern.
- Houses often had outbuildings and gardens designed to be compatible with the main house. This pattern is currently not as noticeable because, in the Ppost-colonyColony years, private ownership of land resulted in the subdivision of land for additional homes. This feature is most noticeable on both sides of Third Street between Liberty and Main.
- The Ppost-colonyColony period did, however, provide architectural additions to Aurora.
- This is most easily seen in the Victorian homes built between Second and Third Streets on Liberty. Also evident are a few extant barns, carriage houses and washhouses.
- By 1910 Aurora's new architectural styles reflected patterns commonly found in many American small towns. Aurora, however, had the unique situation of retaining a significant number of the colonyColony buildings. The bank building at First and Main and the Will-Snyder Store at Second and Main are excellent examples of commercial architecture of this period. The Ben Giesy house, a bungalow design, is a good example of an American residential style common after 1900.

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No conscious attempt was made to design compatible new construction in Aurora until the formation of the historic district in 1974. As previously noted, the organization of the historical society in 1963 created a greater awareness of the colonyColony's significance, and this corresponded with a similar recognition of the value of historic preservation on the national level, which culminated in the passage of the National Preservation Act of 1966.

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Aurora Historic Review Board

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The Historic Review Board (HRB) was established to monitor and maintain this architectural character by reviewing applications for work on all properties within the zoning overlay district. It is comprised of five members who are nominated by the Mayor and/or HRB Mayor and appointed by the city council. They include residents and property owners from within the city limits from both inside and outside the Historic District boundaries. They may also include professionals in the building trades, historians and architects who reside outside the city.

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Design Guidelines and Design Standards – What's the Difference?

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Design review is administered according to this set of design guidelines Title 17 of the Aurora Municipal Code (AMC) of which Design Standards AMC 17.40 is the basis of HRB decision making. This Design Guide is an appendix of Title 17 and serves These guidelines are a further attempt to clarify the purposes and goals of Title 17-the Historic Overlay Zone

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~~Development Code. Both They are not intended to be strict, inflexible standards; rather they serve to provide a framework for a historic district land-use policy that recognizes the cultural and economic benefits of historic preservation as well as complement the special qualities of Aurora. -This Design Guide is These guidelines are used by the HRB as criteria in determining the appropriateness and architectural compatibility of proposed projects as well as ensuring that their decisions are not arbitrary or based on anyone's personal taste.~~

~~to be used as an educational guide for property owner and city officials with helpful material and recommendations for restoring and maintaining individual properties. Where applicable, details on Aurora's own architectural elements are offered, some of which are unique to the area.~~

The ~~Design Guide~~ lines serves as a guide only for decisions based on Title 17 Design Standards which protect the neighborhood from the loss of architecturally and historically significant buildings and sites, additions to historic structures that would lessen their architectural significance, and new construction not in character with the neighborhood. By state and local law, guidelines for historic overlay zoning districts must be in accordance with the **Secretary of the Interior's Standards (There was a comment on this word I could not understand. Omit the s, or apostrophe perhaps?)s for the Rehabilitation of Historic Buildings**, a standard developed by the National Park ~~s~~Service and used by private and public preservation organizations throughout the country. ~~-See Attachment BAppendix 1. The Design Standards AMC Title 17 Historic Review Board Guidelines follows~~ the recommendations set forth in the *Secretary of the Interior's Standards*, but are written to be more specifically applicable to Aurora's historic resources.

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Historic District ~~Guidelines Design Guide Can: (DUPLICATED HEADER See below. Keep separate or join?)~~

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1. Reinforce the character of an historic area and protect its visual aspects. Because Aurora was the most successful 19th Century communal society west of the Mississippi, the district has many features unique to western America. These characteristics are most noticeable in architectural styles, and these styles have been well documented. The guidelines Design Standards reinforce the character of the historic area with the example of the Aurora experience as its necessary model.
2. Improve the quality of growth and development. ~~With the addition of a sewer system in the foreseeable future, guidelines can encourage development compatible with the existing environment.~~
3. Preserve the integrity of an historic area by discouraging the construction of buildings incompatible with Colony and Post-Colony styles.
4. Provide an objective basis for Historic Review Board decisions.

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~~Historic District Design Guide Can: (DUPLICATED HEADER)~~

- ~~14.~~ Define recommended and not recommended design approaches.
- ~~25.~~ Serve as a tool for designers and their clients to use in making design decisions.
- ~~36.~~ Increase public awareness of design issues and options.
7. Provide an objective basis for Historic Review Board decisions.

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Historic District Design Guidelines Cannot:

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1. Limit growth, or regulate where growth takes place; they only address the visual impact of growth.
2. ~~Concern~~ control the interior space of a building design. They deal only with the exterior portions of buildings as well as the surrounding property.
3. ~~Serve the same legal purpose as a design review Development Code. However, guidelines form the basis for design review decisions, and these decisions are legally binding according to the authority granted to the Historic Review Board by Title 8 of the City of Aurora Land Use Development Code. Act as the basis for Historic Review Board decisions. Such decisions must be based on AMC Title 17. The Design Guide offers supplemental explanations of goals and standards of Title 17.~~

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Is My Property Historic?

Each property in the Historic Overlay Zone is classified according to its age. It will be either a **Contributing** structure (built before 1921) or a **Non-contributing** structure (built after 1920). Further designation on a Contributing structure may include an **Aurora Colony** designation (1853-1883).

In most cases, contributing structures will have stricter standards than Non-contributing or newer buildings. When reading the *City of Aurora Municipal Code Design Standards* (Design Standards AMC 17.40), always look for your property's designation. Some standards are consistent with ALL properties in the historic overlays.

To find your classification, your property will be listed in the *Historic Inventory of Aurora, Oregon*. There is a brief listing of vital statistics of each property as well as a more detailed description, depending on the age and history of the structure.

Contributing Structures 1856-1920

Aurora Colony Period 1856-1883

Non-contributing Structures 1921-present

Some properties also have a listing as SS in the *Historic Inventory of Aurora, Oregon*. That refers to Significant Structure because they were listed in Aurora's original application for National Historic District status. They are structures that were either part of the original **Aurora Colony** or were significant **Post-Colony** structures built by **Colony members**. Your property will also be classified by the **overlay zone** within which it is located, either **Residential** or **Commercial**. Historic Design Standards apply to these zones exclusive of the current or past use of the structure. (A building still used as a residence but located within the Commercial zone must follow standards for Historic Commercial Overlay.)

Aurora's **Non-contributing neighborhoods** were once part of the original **Aurora Colony** and help to define those boundaries. Design Standards for Non-contributing structures help to protect the visual aspects of the whole historic area.

Title 17 of the Aurora Municipal Code

For your convenience, **Title 17** is included in the **front-back** of this book. This includes **Design Standards AMC 17.40**, which are referred to consistently as you read **this Guide**. By reading both Design Standards AMC 17.40 and this Guide, you will be able to determine which standards apply to your property. However, should you wish to have more clarification, both city staff and the Historic Review Board welcome your questions.

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Which Exterior Changes Require Approval

Aurora’s cultural heritage consists of more than the original Colony period structures that dot the landscape within the Historic District boundaries. Many of Aurora’s structures are not more than 50 years old fairly new and many old ones may seem to lack architectural significance in their own right. However, all of these structures contribute to the evolution of Aurora’s history. ~~Whether your house is a turn-of-the-century bungalow or a 1960’s ranch style rambler, it is an important part of the City’s past and representative of how Aurora grew to be the place it is today. It is very important that the community recognizes all the structures within the district as significant, as part of our heritage, preserving them so that future generations may enjoy Aurora’s rich history.~~

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Each structure within the Aurora Historic District contributes to the sense of place that makes our community special. As a result, **all exterior ~~changes~~ **CHANGES** to a building or site within the historic district must be approved by the ~~Historic Review Board~~ **city, either administratively or by the Historic Review Board.** This includes things which may seem insignificant (such as replacement of a window), but which can completely and permanently damage the historic character and value of the building. The only exceptions to this rule include: (1) exterior painting, reroofing, and general repairs *such that new materials match those that are already in use*, and (2) minor landscaping work, such as shrubbery, annual plantings and general maintenance. (The removal and planting of trees, those greater than 24 inches in diameter does require approval.); ~~see Plant Materials guidelines, No. 4, pg-22.~~ If the proposal is consistent with ~~these Guidelines the Historic Review Board~~ **Title 17, the city** will issue a ~~certificate of appropriateness~~ **Notice of Decision** authorizing the landowner to proceed with his project.**

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Terminology

A note about the terminology used in the Design Guide: guidelines:

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Must or Shall

Where the word “must” or “shall” is used, the standard in question **must** be met, if it is applicable to the project at hand, in order for the Historic Review Board to be able to issue a certificate of approval.

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Should, Recommended, Suggested, Encouraged

The use of these words indicates that the guideline is strongly recommended but is not required to do so to receive approval.

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- Must or Shall** — Where the word “must” or “shall” is used, the guideline in question **must** be met, if it is applicable to the project at hand, in order for the Historic Review Board to be able to issue a certificate of approval.
- Should** — The use of “should” indicates that the guideline is strongly recommended.
- Encouraged** — Where the term “encouraged” is used, the applicant is urged to consider complying with the guideline, but is not required to do so to receive approval.

Getting Approval for Your Project

If the proposal affects any structure or site within the historic district boundary, you MUST get ~~approval a Certificate of Appropriateness granted by~~ the city recorder's office or the Historic Review Board.

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Note: This applies only -when property owners initiate exterior improvements. They do not require owners to initiate such improvements when they do not plan to do so.

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1. Come to City Hall and get a land use application for a ~~certificate of appropriateness~~ Historic District Exterior Change or download one from the city website. -City staff will advise ~~you~~ whether your proposal conforms to all of the city zoning requirements. **Depending on the classification of your property, if the proposal will take place within the Historic Overlay Zone boundaries and you are making any exterior changes to the visual landscape, you will may be required to present your proposal to the Historic Review Board.**
2. Read information about your property in the Aurora Historic Inventory. Compare the style or appearance of your building to those illustrated in the Architectural Styles section of ~~this Design Guide Guidelines, on pgs. 9-16.~~ If your house was built before 19~~21~~30, it is likely that it contains design elements reminiscent of these styles that need to be maintained. If your house was built after the illustrated "historic period" in this text, look to the existing scale, massing and amount of detail in your existing structure and / or the structures surrounding your parcel for guidance. ~~The relevant surroundings begin at the structures next door and could extend as far as neighborhood compatibility.~~ REMEMBER: The purposes of Title 17 and the Design Guide lines and the HRB are to foster a harmonious continuum of structures where historic structures are preserved and new structures are distinguishable yet still complement the historic landscape that we all enjoy.
3. Next, compare your plans for maintenance, rehabilitation or new construction with Design Standards AMC the 17.40 and this Design Guide guidelines. ~~Site and landscape standards are found between pgs. 20-27, structure alteration provisions are found in pgs. 27-53 and additions and new construction projects in pgs. 57-68.~~ They are organized by feature type. Although every effort was made to direct the applicant to the most appropriate section, some applicants may find that their proposal involves more than one section, as a result, cross referencing may be necessary. -For example, the applicant looking to build a new structure should consult the relevant windows, doors, roof and materials sections of the alteration provisions as well as the new construction standards and recommendations guidelines.

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4. Finally, determine if your plans are compatible with the Design Standards AMC 17.40 guidelines. ~~Projects that strictly adhere to the guidelines will normally be approved.~~ Applicants should be familiar with these Design Standards guidelines and how they apply to their project **before submitting** an application.

~~5. Depending on your property's classification and type of project, a decision may be rendered by city staff or you ~~can~~ will be placed on the agenda for the subsequent meeting when you submit the completed application, the application fee, a site plan drawn to scale of the proposal, illustrating all structures on subject property, their relationship to property lines and if appropriate, elevation or architectural drawings that would assist the HRB in coming to a decision. If city staff determines that your application is not complete, ~~the~~ hearing body will ~~may~~ be unable to make a decision. ~~5. if all the items are not included in the application.~~~~

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~~_____~~ The Historic Review Board meets on the fourth Thursday of every month. To be considered for the subsequent meeting, the application must be received a minimum of ~~two~~ **three weeks prior** to the HRB meeting date. This allows staff to make your information available to Board members so that they are familiar with your property and proposal.

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~~6. Although not a requirement the applicant (or a representative) is encouraged to attend the meeting. If there are questions that cannot be answered the board may not render a decision or may deny an application.~~

~~At the board meeting you will be asked to present your proposal. It is your responsibility to prove to the Board that your proposal meets the standards, as articulated in Design Standards AMC 17.40. If you do not meet this requirement you will not be approved and you will have to create an alternative proposal or supply further evidence, at a subsequent meeting, which substantiates your compliance. The Board has the authority to interpret Title 17~~

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~~6. _____ At the board meeting you will be asked to present your proposal. It is your responsibility to prove to the Board that your proposal meets the standards, as articulated in Design Standards AMC these guidelines 17.40. If you do not meet this requirement burden you will not be approved and you will have to create an alternative proposal or supply further evidence, at a subsequent meeting, which substantiates your compliance. The Board has the authority to interpret the Historic District Guidelines. Title 17.~~

7. There is a ~~15~~-day appeal allowance, wherein, any party who testified for or in opposition to a proposal may submit an appeal application with the City Council. After that appeal period has expired you, the applicant, will receive a

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Notice of Decision complete with findings, the Board's determination and ~~often recommendations~~ sometimes conditions. (See ~~Design Standards Application Procedures, AMC 17.20, Attachment- AXX~~)

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8. After Board approval, you are free to proceed with your project anytime after you receive your Notice of Decision, ~~and Certificate of Appropriateness~~. You are allowed up to two years to complete your project before the approval expires.

Getting to Know Aurora's Architectural Styles

Important Features of the Aurora National Historic District

The Aurora Colony Historic Resources Inventory of properties within the Aurora National Historic District was ~~completed~~first done in 1985 and was updated in 2016. This inventory provides an excellent summary of Aurora's history, the evolution of its built environment, its specific architectural styles, and the classification system which is used to rate the significance of a project-property located within the current historic district.

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Property owners who would like to learn more about their buildings' architectural style can obtain a copy of the inventory sheet included in ~~the 1985 Aurora Historic Inventory or 1986 Aurora Multiple Property Nomination (both revised in 1995)~~ from the Aurora Historical Society this inventory at Aurora City Hall. The inventory sheets contained in these documents can provide more information about the historic properties that are located in Aurora.

All property owners are encouraged to read the first ~~46~~ pages of this inventory. A shorter summary of some of the inventory's key points is provided below.

Aurora's Architectural Styles

Aurora's original application for its national historic district designation used 1856-1920 for its "Period of Significance." All properties within the historic overlay zones within these dates are classified as **contributing structures**.

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The historic vernacular architecture in Aurora was influenced more by regional climate, local building materials and ethnic traditions in craftsmanship than by contemporary fashion. The house types are a blend of 19th century American utopian traditions and medieval traditions transmitted by German settlers in the American colonies.

The **predominant** styles of residential architecture in Aurora's Historic District are:

- Colony
- Post-Colony
- Italianate (very few no surviving examples)
- Queen Anne
- Bungalows/Craftsman

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The following text describes these styles. For additional examples of buildings in Aurora in these styles, refer to photographs in Attachment appendix H.

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Colony Style



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Figure 3. Constructed around 1875, the Emma Giesy/George Kraus house was moved from its original site, 14996 3rd St., in 1977 after it was given to the Old Aurora Colony Historical Society. ~~Otherwise~~ ~~unaltered,~~ it currently stands east of the Ox Barn Museum on 2nd Street as part of the museum complex. ~~The front porch was added prior to 1900.~~

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A single type of house, in general form and character, was built in the village of Aurora from about 1864 to 1881, during the Colony period. The farm houses built outside the village were also of this kind, although the farm houses tended to be larger. The typical house can be described as follows:

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- The gable roof house is sided with its eaves parallel to the street. It has a three-bay front facade and is two bays in depth, about 35 feet long and 20 feet deep. One and a half to two stories in height, it usually has windows on the second floor front facade. The attic ends may have two fixed, six-light sash windows. Each gable end contains an interior brick chimney, but of unequal sizes, one for a stove and the other for a fireplace.

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Figure 4. The Beck House that has been demolished was located on one of the Colony farms.
(Photo by C.M. Will, 1925)

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- A one-story lean-to, containing an open porch and enclosed room, extends across the full length of the rear facade. The main body of the house has two rooms on the main floor, and two on the second floor. The house seldom has a front porch, although most surviving houses have porches which were added later, during the Post-Colony period. The continuous or pier foundation is constructed of brick and an exterior staircase with brick walls usually provides access to a full basement.
- The typical house is predominantly 18th century in character. It has white painted, horizontal weatherboarding. There may be a pronounced asymmetry in the position of its "central" front door, which usually has a transom and is sometimes double-leafed. The house rarely has classical detailing and curvilinear moldings in its exterior finish. However, it always has six-over-six or eight-over-eight, double-hung sash windows which are smaller in size on the second story than on the first. The window surrounds are flat boards and the head is capped with a flat projecting rectangular cap about a half-inch square.

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The characteristic eave detailing is utilitarian. The front eave is boxed with its soffit perpendicular to the house wall, in contrast to the eave at the rake, which is open. The rake eave has a projection of a foot, and a suspended fascia. The soffit is deeply recessed and made of a painted board set directly against the roof sheathing. The intersection of the rake with the

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ends of the front facade boxed soffit and fascia is often resolved by carrying the horizontal line a foot or so around the end of the house. This produces a triangular boxed element which has no moldings. It is utilitarian in character and in placement makes no reference to a classically detailed eave return. This eave intersection is one of the most characteristic details of Aurora Colony architecture, almost exclusive in Oregon to that groups' building. Occasionally, just below the eave intersection, a few houses also have a residual, two-dimensional version of a Classical eave return. It consists of the architrave board, but not the cornice, carried around from the front facade. At its simplest, it is one flat board set flush with the surface of the siding, as on the Frederick Keil House. A more complex assembly consists of two or three graduated rectangular boards as a cap, which is a continuation of the bed moldings, such as on the Charles Snyder House. This unorthodox but pleasing version of Classical detailing is rarely found in Oregon outside the Colony territory.

- A common exception to horizontal weatherboarding is the use of vertical boards and battens. The vertical board and batten house is of single "box" wall construction. However, some box constructed houses in Aurora were covered with horizontal weatherboarding.
- A remarkable quality of the Colony period Aurora house is that, contrary to the general impression, no two are alike. Within a very conservative and limited vocabulary, and with the distinct expression of only one or two builders, each house is rather easily distinguished from all others.
- Frequently this style of architecture had few, or low, plantings around the base of the building. Shrubs and trees were often placed randomly around the property. The orchard and vegetable garden were prominent aspects of the landscape. The white picket fence was common.

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Post-Colony Style



Figure 5. The Captain William Miley House, built in 1895, was one of the first houses constructed in Aurora after the dissolution of the Colony and still stands at 21497 Hwy 99 E.

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For a generation following the death of Dr. William Keil in 1877, the general characteristics of the typical Colony period house survived in Post-Colony period houses built for former Colony members and their descendants. The Post-Colony house is easily distinguished from its predecessor by the following characteristic modifications:

- The house is sided with shiplap. Its two interior brick chimneys are the same size, of the smaller stove type, and each has a base, shaft, and pronounced bands of corbelling forming the cap. The front door bay is covered with a small hip roof porch detailed with turned posts and jigsaw brackets. Post-Colony eave detailing lacks the distinctive utilitarian eave and rake construction of the Colony period, with its total absence of molding and Classical elements. There are moldings at the crown and bed of the eave assembly, and on the horizontal caps of openings. The windows are one-over-one, double-hung sash. At the rear of the house there is a one or two-story kitchen wing enclosing two or three rooms. It has a third stove chimney, porches with shed roofs, and often a pantry within the porch area.

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- The building has a tall and light character which is in contrast to the rather squatty and heavy sense of the typical Colony period house.
- The detailing and moldings have the sharper, more attenuated attributes of late Gothic, rather than the attributes of the Classical.
- The buildings were accented by random plantings of flowing shrubs and trees located away from the base of the building. The front of the building might be accented by perennial flowers or an attractive vine.

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It is not surprising that these architecturally conservative houses were usually the first homes of individuals who had played a major role in the Colony during Dr. Keil's lifetime. The following Post-Colony houses conform to this trend: Jacob Miller House, Samuel Giesey house, William Miley House, and George Miller House.

Italianate Style



Figure 6. The George Miller house was constructed around 1892. Except for the removal of the roof cresting, this Post-Colony structure remains virtually unchanged at 21358 Hwy 99E.

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Italianate Style



Figure 7. The Aurora Pioneer Hotel, 1867 was an example of Aurora's Italianate Style and was its grandest building. Designed to attract visitors it provided a stop for the adjacent railroad and served famous meals. The building was dismantled in 1934.

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Figure X (Need to add as Figure 6.5 or renumber all consecutive Figures). (INSERT CAPTION OF HOTEL HERE)

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This style was popularized in Oregon between 1860 and 1890, a time when the state's population was growing.

- There are no structures of this style remaining in Aurora. Pioneer Hotel was an example of an Italianate Style with its hipped roof, ornate brackets and balconies.
- Roof forms are low pitched and usually hipped, although sometimes gabled. The housebuilding can be rectangular, square or a combination of masses. The projecting eaves with decorative brackets are a distinctive feature of the style. Usually built of wood frame construction with horizontal ship lap siding. Tall windows, which are sometimes rounded, are characteristic of this style, as are bay windows.

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~~Plant material was generally set apart from the buildings. Shrubs or trees would accent the main entrance. A large expanse of lawn was popular with plantings along the perimeter of the property. Symmetrical plantings were also popular.~~

Queen Anne Style



Figure 87. Presently altered beyond recognition, the Sarah and Emmanuel Keil House was constructed in 1909 and stands at 14643 Ehlen Road. In the background on right is Das Gros Haus, Dr. Keil's original house.

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Through the 1880s and well into the 1900s Queen Anne style houses became a favorite for residents throughout Oregon.

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- Examples in Aurora are on Liberty Street and on Main Street, both within and outside of the Historic Overlay.
- -They may have assorted roof shapes and possibly conical or pyramid roofs, sometimes towers. Flared chimneys were part of the decoration. The plan is generally irregular with wrap around porches, protrusions that can include multiple window types, dormers, and stained glass. They are of wood frame construction with horizontal wood siding and/or patterned shingles. There can be a profusion of wood detail and decorative elements.

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At the turn of the century when a majority of these houses were built owners were taken by the varieties of new plant species that were being introduced from around the world.

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Colorful annuals were laid out in patterns, and herb gardens and elaborate flower gardens were the rage. Formal and informal designs were common using a wide variety of plant material.

Bungalow and Craftsman Style



Figure 98. Representative of the Craftsman era in Aurora, the George Damm House -was constructed in 1908 and stands at 21517 Hwy 99E.

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Buildings in this style often have a free-flowing floor plan, incorporate the use of natural materials inside and out, and exhibit fine craftsmanship.

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- Roofs are low pitched gable or hipped forms with wide eaves and exposed rafters.
- Double-hung windows with small panes in the upper sash, large windows flanked by smaller windows, and dormer windows are all characteristic of the style.
- Constructed of wood frame with shingles or horizontal board siding, although stones and stucco were commonly used as well.
- Large porches are typical and may have truncated columns.
- Low plantings existed around the base of the buildings. Planting arrangements were naturalistic and plentiful, often using many combinations of plants. Vines clambered on wide porches. A wide variety of plant species were used to accent these houses.

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- There are nice examples of Bungalow Style in Aurora, both within and outside the Historic District.

For additional photographs of these styles, see Attachment H.

Rehabilitation Guidelines

In recent years there has been widespread rehabilitation of older residences and commercial structures. Although this activity is essential to maintaining the district's vitality, exterior rehabilitation can unknowingly alter or remove a building's original architectural features.

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Original building facades, siding, porches, columns, windows and other architectural features have in many cases been changed by inappropriate rehabilitation, diminishing the building's compatibility with the historic district. Each loss or change of original architectural features inevitably erodes the historic integrity and property values of the district.

Where original features have been removed, their restoration is encouraged whenever they can be documented through plans, photographs, or other means. The Old Aurora Colony Museum's photograph collection is a good resource for most building styles in the Historic District [as is the Aurora Historic Inventory](#).

This Design Guide applies solely to the exterior of properties. All of the guidelines for rehabilitation apply to the exterior of properties. Although property owners are encouraged to preserve significant historic interiors, interior work is not reviewed for [Appropriateness-esign Standards](#) in terms of historic preservation by the Historic Review Board.

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Figure 109. Birds eye view of Aurora's commercial core taken from the water tower looking north about 1928. -The dotted line represents the new Highway 99E constructed in 1930. -The large building in the foreground the Sadler & Kraus General Merchandise Store, located on 3rd, Main & 99E, was destroyed by fire in 1990.

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Approaches to the Treatment of Historic Properties

Choosing the method of treatment depends on a variety of factors including the property's historic significance, physical condition and the proposed use. This Design Guide focuses on the key exterior elements of historic residential architecture. It is meant to be applicable to all styles of historic residential architecture in Aurora. These methods of treatment can be applied to commercial architecture and landscape issues as well.

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Preservation

Preservation is the maintenance and repair of existing historic materials, and the conscious retention of the property's form as it has evolved over time. This method of treatment focuses on maintenance and repair of historic materials and features, rather than extensive replacement and new construction. New exterior additions are not part of this treatment. Sensitive upgrading of mechanical, electrical, and plumbing systems, and other code-required work to make a property function₂ is appropriate.

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Rehabilitation

Rehabilitation is used when there is a need to alter or add to an historic property to meet continuing or changing uses while retaining the property's historical, cultural, or architectural values. This method of treatment is used when repair and replacement of deteriorated features is necessary₃ -when alterations and additions to the property are planned for a new or continued use or₄ -when depiction of a particular period is not appropriate.

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Adaptive use

Adaptive use is the process of converting a building to a new use that is different from that which its design reflects. For example, converting a residential structure to offices is adaptive use. Good adaptive use projects retain the historic character while accommodating the new functions.

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Remodeling

Remodeling is to remake or to make over the design image of a building. The appearance is changed by removing original detail and by adding new features that are out of character with the original. A "stylistic" change is often involved. A remodeling project is inappropriate on an historic building in Aurora, because it would involve altering its historic character.

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Renovation

Renovation is to improve by repair, to revive. In renovation, the usefulness and appearance of the building is enhanced. The basic character and significant details are respected and preserved, but some sympathetic **alterations** may also occur. Alterations that are made are generally reversible₅; should future owners wish to restore the building to its original design.

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Restoration

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Restoration is to reproduce the appearance of a building exactly as it looked at a particular moment in time; to reproduce a pure style - either interior or exterior. This process may include the removal of later work that deviates from the original style or the replacement of missing historic features. Use a restoration approach for missing details or features of an historic building when the features are determined to be particularly significant to the character of the structure and when the original configuration is accurately documented. Many successful rehabilitation projects that involve historic structures in Aurora may include a combination of **preservation, restoration,** and other appropriate treatments. For example, a house may be adapted to use as a restaurant, and in the process missing porch brackets may be replicated in order to **restore** the original appearance, while original dormers may be **preserved.**

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~~Choosing the method of treatment depends on a variety of factors including the property's historic significance, physical condition and the proposed use. The guidelines focus on the key exterior elements of historic residential architecture. They are meant to be applicable to all styles of historic residential architecture in Aurora. These methods of treatment can be applied to commercial architecture and landscape issues as well.~~

Interior Features

If you are interested in your property's historic interior features, which we encourage, *The Secretary of the Interior's Standards for Rehabilitation*, ~~included here as Attachment B, Appendix I~~, are applicable to interior spaces. Preservation Brief #18, *Rehabilitating Interiors in Historic Buildings*, is available from the State Historic Preservation Office. This bulletin can provide the interested property owner with more detailed information on how to rehabilitate an historic interior.

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Site Alterations and Landscape Preservation in the Historic District

The Historic Review Board evaluates landscape plans and renders a decision on:

1. Existing property when the project is \$2500 or more.
2. New construction development (Design Standards AMC 17.44).
3. When buffering or screening is required (Design Standards AMC 17.44).
4. Tree removal of certain sizes.
5. Excavations, berms.
6. Sidewalks, pathways.
7. Fencing.

However, the following text gives helpful advice on how to consider options for landscape development in the Historic District.

Site and Landscape Evaluation

The first step in the landscape evaluation process is to identify the historic buildings and landscape features. Aurora has identified the historic architecture of the community through its *1985 Aurora Historic Resource ~~Inventory~~ (Inventory (revised 1995 and 2016~~54~~))*. Landscape features are discussed under the *Getting To Know Aurora's Architectural Styles* sections of this survey. This identification is not a complete inventory of significant plant material and landscape features, as there are no site plans attached to the documentation. However, it can serve as a preliminary guide for identification.

One of the key features worthy of identification in a landscape analysis is the relationship of the main building to the landscape, which includes garages and outbuildings. This analysis can help to inform the evaluator of the pattern of everyday use that occurred over time on the property. Paths and driveways are often laid out for convenience in circulation, rather than aesthetic reasons.

Historic research is important for understanding what the landscape looked like in an earlier period such as the Old Aurora Colony Museum archives. Historic photographs are the best source for landscape identification. Articles in historic journals and magazines can provide information about what the landscape trends and styles were in a given period. Oral histories from previous property owners are valuable for understanding what a garden might have looked like.

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Site analysis is the process of physically looking over the historic property to better understand the location and significance of landscape features. Site analysis of the landscape provides an understanding of how the vegetation has changed over time, or how paths and buildings evolved into what they are today. In conjunction with an historic photograph, site analysis can explain where missing landscape features were located, or how they have evolved with time.

The method of treatment chosen will determine the scope of work, cost, and extent of repair or replacement that will be necessary to bring a landscape back to a period look. Most property owners in Aurora will want to protect and stabilize significant features of an old landscape, usually the trees, an outbuilding or possibly a fence. The methods for treatment are:

Preservation	Preservation of a landscape maintains the form, materials, and important features of the landscape as it evolved over time.
Rehabilitation	Rehabilitation retains the landscape as it was in an historic period, while allowing additions and alterations for modern usage.
Restoration	Restoration depicts an appearance that existed during the landscape's significant period of development. This can involve the removal of later additions, and the replanting or rebuilding of earlier landscape features.

Landscapes in Aurora were generally simple in design, having grown from the ~~colony~~ Colony method. Once a property owner has conducted a site analysis and researched their property, they are ready to select a method of treatment. Preservation and Rehabilitation are probably the most desirable methods for property owners to use when thinking about creating an appropriate landscape design for historic properties.

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Private Open Space and Front Yards

~~It is recommended that~~ front and side yards which abut a street should be visually open to the street. Hedges, retaining walls and fences which visually obscure front yards are discouraged, except where photographic evidence supports an historical picket fence. Otherwise, fences should be kept behind the building lines, as viewed from the street. Original grade should be retained; berms and excavations are ~~discouraged~~ prohibited (17.44.030).

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A plant list has been included as ~~Attachment E~~ Appendix B² to provide a variety of species for property owners to use when considering adding plant material to an historic property. The list is limited and there are many other species that are desirable for a period landscape design. Native species of plants, like ferns, rhododendron and sallah, are appropriate species for Aurora's gardens.

Historic Fencing

The white picket fence was the most common historic style fence in Aurora. Photograph collections at the Aurora Historical Society can be referenced for understanding historic fence styles that were used in the community.

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1. ~~1.~~ Preserve historically significant fences.

- ~~Replace only those portions of historic fences that are deteriorated beyond repair so that the original portions can be retained.~~
- ~~The general character of historic fences ~~must should~~ be retained if they are being replaced.~~

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2. ~~2.~~ For new or replacement fences, use a design and materials which are similar to the original refer to Design Standards AMC 17.40.070 (Appendix A).

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3. ~~It is recommended that to minimize the possible transition of styles between front-area picket fences and the limited use privacy fencing styles allowed in rear yards, that landscape measures be used at this junction such as bushes, trees and/or shrubs.~~

4. ~~Picket Fences were common in Aurora.~~

- ~~Picket fences are generally 36" to 48" tall. A horizontal top rail and bottom rail are attached to fence posts which are installed perpendicular to the ground. Evenly spaced, narrow boards called pickets are affixed to the rails. The pickets have tapered or pointed tops. (They are named "pickets" for their resemblance to the pointed stakes historically used by infantry to repel cavalry.)~~
- ~~Pickets are from 1 1/2" to 4" wide, the narrower used on shorter fencing. Spaces between each picket vary from 1" to 2". Pickets are never placed abutted together for privacy.~~
- ~~Picket fencing is to be IN WOOD, painted white, white washed or if left natural, a clear preservative used. They are not to be stained earth tones or any color. (Design Standards AMC 17.40.020).~~
- ~~(Couldn't see the first word written in the scan of comments.) Manmade materials are prohibited for pickets and railing training.~~
- ~~A variety of picket tapers were seen in Aurora, from plain points to French Gothic style as well as styles where a pattern of picket heights was used.~~
 - ~~Typically, wood picket fences, were used: many of these were painted, others were left with a natural finish. The height of the fence was approximately three feet to four feet. As a result, fences 3 to 4 feet in height are encouraged. Refer to The Picket Fence in Oregon (available at Aurora City Hall). A protective finish is required on fences that are not painted. (w/diagrams of pickets fences expand info here).~~
 - ~~The appropriate fencing material will be determined by the style of your existing structure and / or the types of fences that make up the surrounding~~

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~~area. For example, farmland may most appropriately be enclosed with a stock fence.~~

- ~~• Chain link, wire, stock fence, rail or split rail, plastic or lattice trimmed material and 6 foot tall fencing when used for privacy fencing are only allowed on the rear of the property line away from street view, and must be minimized with plant material~~

~~It is recommended that to minimize the transfer of styles between front are picket fencing and limited use privacy fencing style in rear yards, that landscape measure is used sucha as trees and shrubs. ???~~

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Plant Materials

Historically Aurora had a significant amount of planting. The area of planting has been reduced substantially by asphalt since the Motor Age. This is especially noticeable in the commercial core area.

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- ~~• **H** Hanging baskets, planter boxes, and free standing planters are generally considered to be inappropriate for historic commercial centers. A certain measure of restraint should be exercised to prevent creating a look that would be considered non-historic.~~

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5. 3. Significant trees that are in good health should be preserved.

- ~~• Tree trimming for utilities should be reviewed.~~
- ~~• When clearing a property, significant trees should remain, where possible. Diseased or hazardous trees should be removed. (See below, #4)~~
- ~~• Annual maintenance, such as pruning dead limbs and application of fertilizer help to ensure the continued long life of a tree.~~
- ~~• Regular watering of trees and shrubs in the dry season is essential for proper growth and health of the plant.~~
- ~~• Do not top cut shade trees. Selective pruning is better for the health and longevity of the tree.~~
- ~~• Replant, as necessary, large canopy shade trees along the streets. Deciduous and coniferous street trees are both compatible in Aurora.~~

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6. 4. Before removing any tree over 24 inches in diameter when measured at 4.5 feet above grade, applications must be made to determine cause for removal, significance to landscape vistas, and or historic interest (Design Standards AMC 17.05050).

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- ~~• Some trees may be of exceptional value to the Aurora Historic community because of their unique species, historical significance or their location contributes to the aesthetics and increases the livability of the area.~~

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- The criteria for determining whether tree removal is appropriate include: size, species, age, tree health, historic significance, ecological value, aesthetics, and location.

7. 5. New plantings should enhance, not hide or cover up, historic architecture in Aurora.

- Tenacious vines, like Boston and English Ivy, are destructive to historic building materials and should not be allowed to climb indiscriminately on architecture.

8. 6. Landscaping can hide parking lots and unsightly views and is encouraged where applicable. (See Design Standards AMC, 17.44, Attachment F Appendix B).

- Careful plantings of trees and shrubs could enhance views or screen and provide a noise buffer. Residents are encouraged to do this where it is appropriate and reasonable to do so.

9. 7. Landscape designs that feature large planting beds with black plastic and bark mulch are not compatible with historic architecture and its use is discouraged.

- Low perennial ground covers and compost are more desirable mulches.

10. 8. The use of planting strips and street trees are encouraged.

- The historic pattern in Aurora was to include planting strips between the street curbs and the sidewalks to separate pedestrians from traffic.
- Street trees are encouraged as they would promote a sense of arrival to Aurora, notify traffic to slow down, and unify now divided portions of the Historic District.
- Synthetic plant material is ~~not allowed~~ ~~prohibited~~ ~~discouraged~~.

~~Berms and excavations are prohibited in the historic overlay zone, (Design Standards AMC, 17.44, Appendix B) New sidewalk construction should be flush grade with a broad grass or planting margin between walk and street.~~

11. Streets, Alleys & Sidewalks

Historically, Aurora's paths were dirt, gravel, boardwalk and then replaced with concrete in the 1900's. These concrete sidewalks vary depending on the time period they were installed or replaced according to city codes.

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12. 9. New sidewalk construction should be flush grade with a broad grass or planting margin between walk and street.

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- Sidewalks ~~should~~ must be grey concrete with a broom finish perpendicular to the path. Scoring ~~should~~ must form traditional sized 24" to 36" squares. ~~Avoid smooth troweled borders.~~ (Design Standards standard 17.40.140)

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- Walkway widths will be approved based on their scale and amount of use. For more information, refer to the city's walkway and sidewalk standards.

- Gravel paths are suitable for informal and parkway areas, or historically sensitive sites. These paths should use 1/4" fine gravel that is well compacted.

13. 10. Public improvements to streets and sidewalks need to be designed to enhance the visual continuity of the existing streetscapes.

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- Improvements and alterations, like the installation of sidewalks, curbs, cutting and planting of street trees, and installation of street lights need to should be compatible with documented historical landscapes and existing materials, yet provide safe access for pedestrians, bicyclists and automobiles.

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- Roads in the residential areas should be visually unobtrusive in color and texture and without painted lanes.

- Street lighting should be simple in character and low in intensity except for security. (We will insert diagrams here) Lantern style rather than bulb style is the standard. (Design Standards AMC 17.40.140, Appendix A)

Comment [r3]: Insert example images of lantern lighting.

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- Commercial core pedestrian lighting styles will be Lantern style which is appropriate to the character of the historic district, continued through to Bob's Avenue on Highway 99E.

- Street drainage is encouraged to be contained in simple grass drainage swales where possible.

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- Original public utility features, such as water meter covers, manhole covers and hydrants should be retained, unless replacement is warranted for public health and safety.

- Commercial core pedestrian lighting styles will be Lantern style which is appropriate to the character of the historic district, continued through to Bob's Avenue on Highway 99E.

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Figure 11. Examples of outdoor lighting fixtures that relate to Aurora Colony lanterns are boxed styles such as these rather than rounded, ball styles.

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14. 11. Alleys should continue to be attractive as public open space between properties.

- Future improvements, like paving or construction of secondary buildings, along the alleys are to be sensitive to existing garages, outbuildings, fencing, paving and landscape plantings that are considered historic.

Parking Areas, Driveways, and Garages

15. 12. Design commercial automobile parking areas to be visually unobtrusive.

- They also should be set back from the street considerably.
- Parking located in the rear or back of the building with access through an alley is preferred.
- Locating parking areas in yards facing the street is discouraged/inappropriate.
- Generally, limit driveways to 1 per business in order to increase street parking, and provide continuity of planting and sidewalks.
- Bicycle parking should be designated in a location near the main building entry in a location not to interfere with sidewalk use.
- (COMMENTS IN MARGIN WERE CUT OFF IN SCAN: What changes do you want in this section?) See Section 7.8216.28 of the City of Aurora Land Use and Development Code AMC (16.22.040XXX) for more details regarding parking requirements.
- See Design Standards AMC Ch 17.40.160 (Appendix A) for Setbacks.

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16.13. Minimize the visual impact of residential driveways and parking aprons. (Design Standards AMC 17.32).

- Locate drives along side yards, where possible.
- Where garages are in side yards relatively close to view from the street, it is recommended they should be sided-sited with doors perpendicular to the street, when possible, to minimize their view.
- Avoid locating drives in front yards, where possible.
- Concrete is discouraged, but may be considered where necessary.
- Use gravel, concrete, or paved tracks, where feasible, not blacktop.

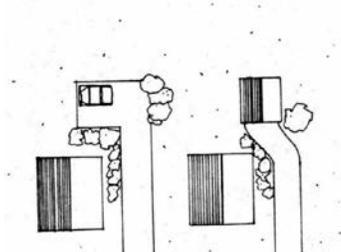


Figure 129. Poorly designed parking structures can detract from the character of the street. Adequate setback and screening can reduce their visual impact.

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Tents, Canopies and Structured Booths

14.17. Commercial: Except for special events allowed by the City, tents, canopies or booths will be allowed, for temporary use only by permit. No more than two permits shall be issued per property per year and each permit shall last for no longer than seven contiguous days. The permits shall not be issued back-to-back.

- Permits are available at City Hall.
- Tents, canopies or booths must not obstruct public right-of-ways.
- Every effort should be made to place tents, canopies or booths sensitively so that they do not block the viewing of primary facades.
- Items displayed or sold beneath or within the tent, canopy or booth must be of the same general nature as the business conducted in the affiliated permanent structure.

Signage must comply with the requirements of [Aurora Municipal Code Design Standards-Signs AMC Title 8, 17.24.060 C.](#)

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For additional requirements refer to ~~“Temporary Uses and Structures, (Design Standards Temporary Uses and Structures-AMC” Title 7 17.32.030 and Title 816.52- 17.32).~~

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Temporary Structures, Displays and Garden Art

~~18. 15.~~ Temporary structures, such as but not limited to displays, merchandise, outdoor equipment, and garden art should not visually impair or impact any primary or secondary façade view. ~~(Design Standards Temporary Uses and Structures AMC XXXX NEED SECTION FROM KAREN/KELLY... 17.32.050?) See Figure 13.~~

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- ~~Commercial: The accumulation of objects or merchandise left out overnight distracts from the architectural integrity of the district. In an effort to encourage sensitive placement of objects outdoors, the total number of objects, including any temporary structures and retail displays may not exceed ten percent (10%) of the primary façade.~~
- ~~Commercial: During regular business hours, outdoor display items may exceed ten percent (10%). Businesses are encouraged to carefully place displays so that the public may still enjoy the view of the building.~~
- ~~Residential: Place children’s play equipment, recycling bins and trash receptacles to the rear or side of historic architecture.~~
- ~~Residential: Garden ornamentation, such as trellis or lattice work, should be appropriate to the style or era of the structure.~~

New Systems, Utilities and Code Compliance Issues

It is recommended that introducing new electrical, plumbing, heating and ventilating systems into historic buildings should be planned such that historic materials are not damaged or obscured.

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19. Recommendations to 16.M minimize the visual impacts of new building systems on exterior features by:-

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- ~~Especially~~ avoid placing mechanical and electrical equipment, such as heat pumps, on primary, character-defining facades or in front yards and screen them with plantings or low fences.
- All utilities, both above and below ground ~~must~~ be designed to have the lowest impact on the district’s safety and character.
- Minimize damaging historic materials in order to insert new mechanical and electrical systems, such as cutting holes in walls.
- See the Uniform Building Code, 104F

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~~20.~~ ~~17.~~ Minimize the visual impact of antennas and aerials from the public way. Locate satellite dishes so they will not be visible from the public way.

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- Locate them on subordinate roofs, where feasible.
- Locate them in attic spaces or in rear yards. Screen them where feasible.
- ~~Screen a~~ All sizes of satellite dishes ~~shall be screened where possible.~~

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~~21.~~ ~~18.~~ Cell towers and such future technology is prohibited. ~~(Design Standards AMC 16.50).~~

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Building Alterations in the Historic District

Preservation of Significant Original Qualities of the Structure

It is recommended that original materials and detail, as well as distinctive form and scale that contribute to the historic significance of the structure ~~should~~ be preserved. ~~Care should be taken that~~ erehabilitation work should not destroy the distinguishing quality or character of the property or its environment.

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2249. Respect the historic design character of the building.

- ~~Refer to the specific design characteristics of the building's style.~~
- ~~Destruction of character-defining features is discouraged.~~

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230. Minimize intervention with historic elements.

- ~~Renovation projects should maximize their use of the historic building fabric, including exterior features and finishes and structural systems.~~
- ~~In renovation projects maximize the use of the historic building fabric, including exterior features and finishes and structural systems.~~
- ~~The National Park Service, which oversees natural historic preservation, recommends a m~~A minimum of 75% of exterior walls should be preserved. (A portion of these may become interior walls if additions are approved.) ~~This guideline is recommended by the National Park Service.~~
- ~~A minimum of 75% of structural systems should is also recommended to be preserved, including floor and roof framing systems, where feasible. (Additional structural supports may be added as necessary to reinforce existing systems.)~~

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241. Protect and maintain significant stylistic elements.

- ~~Treat with sensitivity any d~~Distinctive stylistic features or examples of skilled craftsmanship ~~must be treated with sensitivity~~ (i.e. window sashes, wood shingle roofs, moldings, porches, picket fences, settlement patterns).
- ~~Protection includes the maintenance of historic material through treatments such as dust removal, caulking, limited paint removal and re-application of paint.~~

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252. Avoid removing or altering any historic material or significant features.

- ~~Preserve original doors, windows, porches in their historic configuration.~~
- ~~Preserve original facade materials in their historic condition.~~

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- ~~Examples of historically significant architectural features that must be preserved are porches, turned column brackets, and jig-saw ornaments.~~
- ~~Other significant elements to hat must be preserved include historic building form and roof form.~~

263. Use the gentlest possible procedures for cleaning, refinishing, and repairing historic materials.

- ~~Many procedures can actually have an unanticipated negative effect upon building materials and result in accelerated deterioration or a loss of character. These harsh procedures are not allowed should be avoided.~~
- ~~Use the gentlest possible procedures for cleaning, refinishing, and repairing historic materials. Sandblasting, power washing and other harsh methods of cleaning materials are to be avoided prohibited because these practices can accelerate deterioration of the brick.~~

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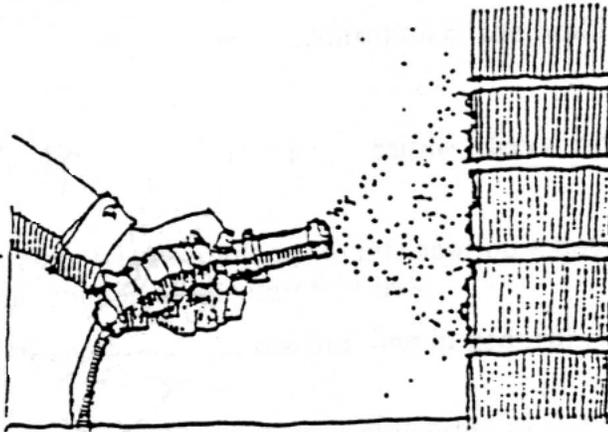


Figure 134. Use Gentle Cleaning Methods Whenever Possible

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274. Repair historically significant features that survive.

- ~~Repair rather than replace ~~d~~ deteriorated architectural features features must be repaired rather than replaced.~~
- ~~Patch, piece-in, splice, consolidate, or otherwise upgrade the existing material, using recognized preservation methods, rather than remove the element entirely.~~

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285. When disassembly of an historic element is necessary for its restoration, use methods that minimize damage to the original materials.

- Always devise methods of replacing the disassembled materials in their original configuration.
- When disassembly of historic elements is required in a procedure, use methods to catalog the elements in their historic condition. Replacement must be based on documented evidence.

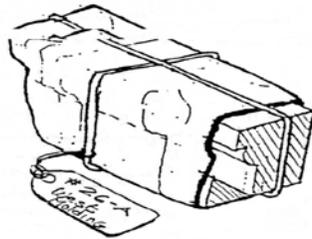


Figure 142. Catalog Removed Elements in Their Historic Condition

Primary Facades

The primary facades are the sides of the structure oriented to the street or corner and ~~should be maintained~~ their design is to be preserved (Design Standards AMC Title 17.40) in the historic manner, respecting details of the historic period and style. Proposals for alterations to the primary facades will be more carefully reviewed than proposals which are not visible from the street. Rehabilitation work should be based on sound pictorial or documented evidence from the Aurora Historic Inventory or the Old Aurora Colony Museum archives. ~~Avoid creating a false historical appearance that is inappropriate to the historic architectural style.~~

296. Additions and structural alterations ~~should be~~ are limited to the rear or sides that are minimally visible from the public right-of-way. (Design Standards AMC 17.40.020)

- ~~On Contributing structures,~~ original features of the facade, like balconies, porches, bay windows, siding, trim details and dormers must be retained and rehabilitated.
- Alterations to the street and corner oriented facade on ~~primary significant houses~~ Contributing structures shall not be permitted unless it is to restore the original design.
- ~~On~~ For example, the photograph on the front of this booklet shows an Early Colony period house with a later Italianate porch addition. The porch design is from a later architectural period and is in conflict with the original early colony style. Thus, this type of porch proposal, under these current

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~~guidelines must be denied~~ Non-Contributing structures avoid creating a false historical appearance with the addition of design elements that are inconsistent with the building's architectural style.

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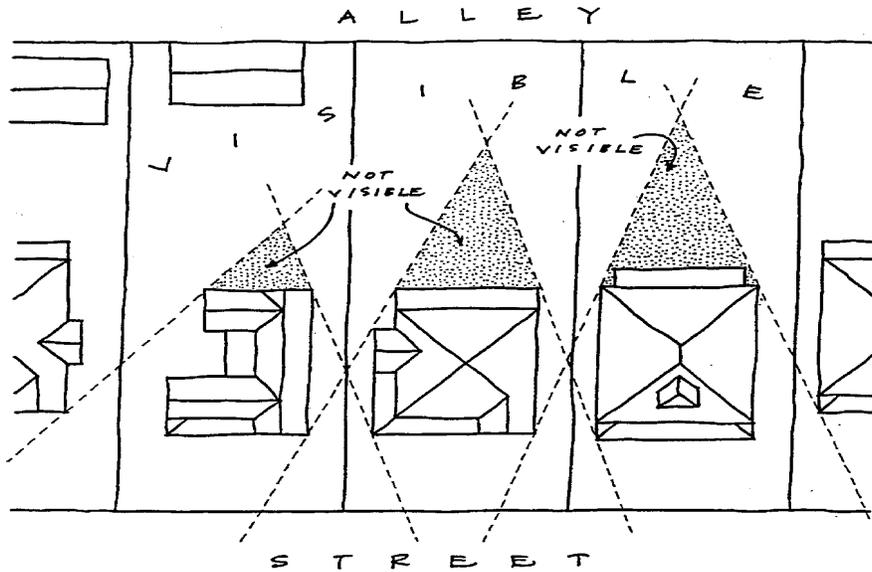


Figure 153. Areas of lots which are visible from the public street are primary facades.

Replacement or Substitution of Original Features

It is recommended that deteriorated architectural features ~~must~~ be repaired rather than replaced. In the event replacement of historic materials is necessary, the new materials must match that being replaced in design, color, texture, and other visual qualities. Any structural building totally destroyed, or the need to be totally replaced will be identifiable or documented in inventory.

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3027. Replacement of missing elements may be included in repair activities.

- Use the same kind of material as the original. A substitute material is acceptable only if the form and design of the substitute itself conveys the visual appearance of the original material on a permanent basis.

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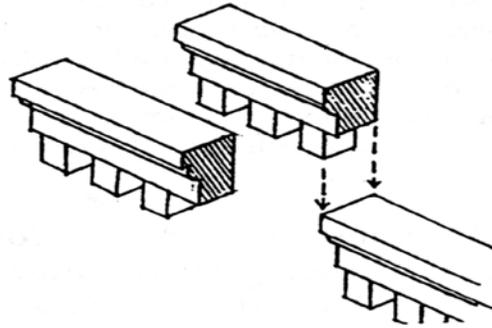
3128. Replace missing historically significant features in kind.

- Replace only those amounts that are beyond repair.

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- ~~_____~~ If alternate materials must be used, they must match the original in appearance.
- ~~_____~~ Covering materials that have not achieved historic significance are discouraged. ~~Asphalt siding that covers original wood siding, for example, is inappropriate and should be removed.~~



Figure_-164. Where replacement is required, replace only those portions that are deteriorated beyond repair.

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3229. Replacement of missing architectural elements must be based on accurate information about original features.

- The design must be substantiated by physical or pictorial evidence.
 - This will avoid creating a misrepresentation of the building's genuine heritage. Seek photographic information from the Aurora Historic Inventory or Old Aurora Colony Museum.

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3330. Where reconstruction of an element is impossible, develop a compatible new design.

- ~~_____~~ This is appropriate where inadequate information exists to allow for an accurate reconstruction of missing features.
- ~~_____~~ ~~Relate (T~~The new design ~~shall relate~~ to the building in general size, scale and material.
- ~~_____~~ Such a replacement must be clearly documented in the ~~i~~Aurora Historic Inventory as being new, so it will not create a false historical impression.

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341. Conjectural "historic" designs for replacement parts that cannot be substantiated by written, physical or pictorial evidence are **generally inappropriate-not allowed.** (*Design Standards AMC, 17.40.180*)

- ~~_____~~ Use materials similar to those employed historically.

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- The ~~Historic Review Board~~ Old Aurora Colony Museum can help you locate older photos that may document original features of similar structures in Aurora.

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Materials

The use of materials that are compatible in quality, color, texture, finish, and dimension to historic materials are encouraged.

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352. The majority of the architecture in Aurora is constructed of naturally found products including ~~masonry wood and and masonry wood~~; mixed materials including ~~ing~~ concrete and plaster.

- ~~Materials that are compatible with the building in color, quality, texture, finish and dimension ~~should must~~ be used when replacement of lost, hidden or missing elements is necessary. (*Design Standards AMC Ch. 17.040*)~~
- ~~Glass blocks, imitation stone, metal and vinyl sidings are out of keeping with historic materials, which are predominantly masonry and wood. Manufactured wood products, faux masonry and rock, and sheet materials are acceptable only upon review of proposed application and location and are limited to NonContributing structures.~~
- The rehabilitation of non-compatible storefronts is encouraged.
- Non-historic materials can be removed and replaced with brick, wood and glass to replicate the historic look of the storefront.
- Metals may be used for flashings, hardware, signage, and accessories.

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Foundations

Foundation height helps to establish the design of a structure. Porch steps, water tables, ventilators and access doors or windows, are features that are considered to be part of foundations. Every measure needs to be taken to preserve these details with the replacement of a foundation.

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363. Changes to foundations should match or be compatible with original foundations in height and use of materials, ~~and~~ Although the height may be altered to improve accessibility.

- ~~Where buildings are on wood post and masonry pad foundations, concrete block and poured concrete wall foundations are considered acceptable replacements. Rusticated and decorative concrete block should be avoided as they have no relationship to historic foundations.~~
- ~~Often foundations were covered with 1" x 4" vertical wood skirting. If skirting exists every effort needs to be made to replicate the historic look and material after the masonry foundation is installed.~~
- ~~Textured paint and thin coat stucco can be applied to concrete block and poured concrete foundations to imitate the historic appearance of early concrete.~~

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- ~~_____~~ The height of the replacement foundation should consider stairs, access doors, windows and ventilators and ensure that the installation of the foundation will not detract from character defining features of the structure, like unique moldings or the water table that runs horizontally around the base of the house.
- ~~_____~~ Plantings of appropriate shrubbery and perennials can help disguise foundations.
- ~~_____~~ Property owners are encouraged to bolt the sill of the building to the new foundation, for seismic safety.

Exterior Siding and Details

The retention, restoration and maintenance of original siding shall be required when possible.

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In Aurora, wood was the predominant building material used for residential architecture. It was abundant, cheap, and easily worked to produce siding, moldings, decorative features and interior finishes. *Siding requirements differ slightly with conforming and nonconforming structures. Refer to Appendix A, Design Standards AMC 17.40.170 Siding.*

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374. Original building materials ~~must~~should not be covered with synthetic sidings.

- ~~_____~~ **Never replace wood siding with aluminum or vinyl siding and Replacement siding on contributing structures must be wood. Do not install new siding over old.** The added depth of wall material will alter the character of profile around openings. The newer materials may also trap moisture inside and hinder fire-fighting.
- ~~_____~~ If original materials are presently covered, they should be exposed.
- ~~_____~~ Remember, wood siding is a very visible design element in your building, it is worth the cost of proper replacement or "in-kind" repair when necessary.
- ~~_____~~ New engineered-wood products ~~will be considered on a case by case basis~~ are permitted on NonContributing structures.
- ~~_____~~ Siding in Aurora appears to have been consistently painted in the historic period. As a result, wood siding shall have a weather-protective paint finish. ~~Avoid unpainted and stained wood~~ Unpainted and stained siding is prohibited.
- ~~_____~~ It is important to identify character defining wood features on the primary facades.
- ~~_____~~ Historic wood siding and details (like cornices, brackets, window moldings, and their paints and finishes) that are character defining should not be removed.

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- ~~_____~~ Destructive paint removal methods, like propane or butane torches, sandblasting and water blasting, should not be used as they can permanently damage historic woodwork. Take extreme care with power washing on contributing structures.

385. If portions of wood siding must be replaced, be sure to match the lap dimensions of the original, ~~if possible.~~

396. ~~D~~Generally, decorative shingles are appropriate ~~only in gables and on dormers only as documented in historic evidence.~~

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- ~~_____~~ Decorative shingles were not used during Aurora's Colony period, ~~but were in use later in Queen Anne Style houses here.~~

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4037. Siding:

- ~~_____~~ Horizontal lap siding comes in four distinct types: clapboard, shiplap, weatherboard, and tongue and groove (or bevel). Vertical siding is typically board and batten type. (see figure 16)
- ~~_____~~ Siding ranges in width from 4 to 6 inches in width for the average size house.
- ~~_____~~ Certain styles of architecture (most notably the Queen Anne style) used wood shingles in combination with horizontal siding.

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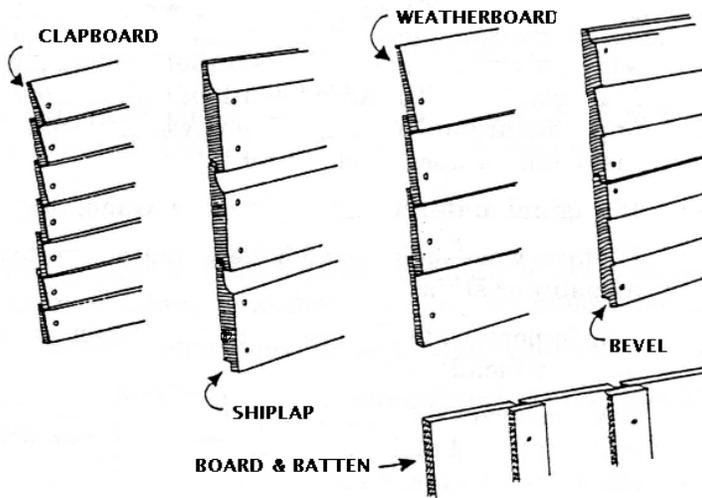


Figure 175. Siding Styles

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4138. Protection:

- Ensure that faulty flashing, leaking gutters, cracks and holes in siding, and deteriorated caulking in joints and seams is maintained and repaired.
- Vines growing on a house, and plant material that is positioned too close, can cause damage to wood siding.
- Fungus and insect infestations should be kept in check.
- Paint application should follow proper surface preparation. Manufacturer's instructions, and application instructions, should be strictly followed when applying new paint.

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4239. Alterations:

- ~~CAvoid~~ covering wood siding and trims with stains or clear varnishes that create a "natural look;" are prohibited. These surfaces require paint. (Design Standards AMC Ch. 17.040.170)
- ~~Wood siding and details should not be removed and replaced with materials that create an improved appearance.~~
- New materials used on additions ~~must~~ should match or be compatible with existing siding.

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Color

OPTION 1

Homeowners are reminded to be aware of the dangers of lead and asbestos in old painted surfaces.

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It is recommended that the color palette and the number of colors used on exterior buildings relate to the style and what would have been typical in their time periods. The following suggestions are drawn from historic research. Individual tastes and how they are used in current times are taken into consideration in the city's Approved Historic District Exterior Color Guide for residential color selections. Commercial buildings, including those that are out of period, have a responsibility to present a more cohesive historic streetscape which reflects original colors and design details that are emphasized with paint.

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Generally, use no more than three colors on any building: one color for siding, one for trim and one for accent. Accent colors are typically bolder and are to be used sparingly. Aurora's historic structures are generally Vertical in form, therefore, bold contrast color's should be are best used only on Vertical surfaces such as doors, window sashes (not window trim boards) or other vertical end trims. Accent colors can also be light neutrals when they are used as bold contrast to dark siding, again emphasizing the vertical aspects of the building. (The exception to this vertical orientation is craftsman/Bungalow style.)

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For approved color examples, refer to the city's Approved Historic District Exterior Color Guide. (Appendix A available at city hall.

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~~A change~~ CHANGE in exterior paint selection goes through an application process for all ALL contributing properties in both Residential Residential and Commercial Historic Overlay Zones as well as all Non Contributing Contributing properties in the Commercial Historic Overlay. These can be approved by staff.

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Color selection of more than three colors on a structure must be presented to the Historic Review Board. Colors and shades which are not displayed in the city's Approved Historic District Exterior Color Guide must be presented to the Historic Review Board for approval.

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OPTION 2

These are general guidelines-recommendations for color selection including information on popular-historical original-ORIGINAL color combinations. Except for Colony period structures, applicants have fairly wide latitude in color choices, samples of which are in Appendix A at City Hall. Although application must be made for all color CHANGES, most do not require HBR review (Chapter 17.40.120) See Appendix B.

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Typically, use one color for siding, and a maximum of two colors for trim, doors, and windows. Trim and accent colors that complement and enhance natural materials are encouraged. Typically, use one color for siding, and a maximum of two colors for trim, doors, and windows.

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Commercial Buildings

430. Commercial buildings in Aurora were generally plain in design, making them suitable for subtle colors with a minimum of contrast color.

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- Colony structures used as commercial buildings must adhere to their original color.
- Paint analysis is the best method of determining what historic colors existed on a commercial building.
- Avoid using intense color hues, and a quantity of vivid colors on a building.
- Attempt to blend the color choice with those that are located on the surrounding commercial area.
- Paint color should relate to and harmonize with a building's materials, like brick and wood. Choose a paint color similar to the original color of the brick.
- Colors that highly contrast and those that overly accent architectural details and entrances are to be avoided, except where historic photographs or paint analysis proves otherwise.
- Unpainted brick is to be left unpainted.

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Residential Buildings

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Paint color, always regarded as more than simply surface protection, has long been a reflection of both personal taste and historical style. The restoration of original colors on historic residential architecture is desirable, but not always feasible. Colors appropriate to the style and era are encouraged.

The original color can often be determined by careful investigation of peeling paint or by sanding an inconspicuous area to reveal the color layers (a process called cratering). Window sashes and doors were frequently painted a darker color than the body of the house. Paints were much glossier than today's flat latex paints.

4.1. Suggested Historical Color Combinations

Following is a list of suggested color combinations that would have been suitable for the five predominant historic architectural styles that have been identified in Aurora. ~~A chart containing sample colors is also available at City Hall.~~ Priority Consideration should be given to original colors found during paint analysis.

~~The suggested colors are purposely vague so that property owners will be able to find a color within the recommended palette that is suitable to their individual taste.~~ Those properties listed on the Special Assessment Program will need to have paint color approved by the State Historic Preservation Office.

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Aurora Colony Style

White was a common color for this style. Cream, linen~~Off yellow~~, light gray were also used.

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Body	Trim	Door
White	White	Dark Green
Cream		Blue/Gray

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See Appendix A at City Hall for variations of these colors.

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Post-Colony Style (Gothic Revival) Historical Color Combinations Palettes

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Homes and colors in harmony with nature were popularized by Andrew Jackson Downing, a Hudson River romantic. The earth tones he created – Sand, Slate, Stones and Earth – were seen in the Gothic Revival he unsuccessfully tried to institute in place of Greek Revival as the American style. James Renwick, a later practitioner of revival style, called for beige body colors. ~~Colony period painting survived, but evolved from one color to multi-color in Italianate and other styles.~~ Ornate windows, doors, and cornices were painted in contrasting hues, using color to feature ornamental trim.

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Body	Trim	Door
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Rose Beige	Dark Brown	Dark Red
Light Brown	Medium Brown	Dark Red
Dark Brown	Light Brown	Dark Brown

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See Appendix A at City Hall for many more choices.

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Italianate Historical Color Combinations Palettes

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Painted in warm, light colors with contrasting trim and dark doors. Trim was often the same color, but in a different shade--either lighter or darker.

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Body	Trim	Door
Dark Gray	Light Gray	Dark Brown
Dark Brown	Warm Brown	Dark Green
Light Green	Medium Gray	Any Above

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See photographs of The Aurora Pioneer Hotel, was painted.

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Queen Anne Style- Historical Color Combinations

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This style had dark body colors and strong accent colors. Browns, olives, reds and oranges emphasized structure, materials, mass and volume. The colors often created doublebody schemes such as red lower body with dark green upper body and accented by Amber. Green balanced by a red offered a simple scheme.

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Body	Shingles	Trim	Sash
Buff	Dark Red	Maroon	Maroon
Olive	Reddish Brown	Reddish Brown	Dark Red
Gray	Light Green	Dark Green	Olive

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See Appendix A at City Hall for many more choices.

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Bungalow/Craftsman Historical Color Combinations Palettes

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The rich colors of Victorian architecture filtered through Gustav Stickley's Craftsman Movement and Elbert Hubbard's Roycrofters-Crofters. The typical Craftsman hipped roof house was designed to be painted with two body colors.

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Body	Trim
Cream	Medium Brown or Medium Green
Medium Brown	Light Brown
Dark Brown	Dark Brown or Cream
Medium Green	Medium Gray, Medium Brown

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Postwar Romanticism

The colors of the 1950's and 1960's reflect the down scaled realities of post war housing. Typically mass produced subdivision split levels, ranches and Cape Cods. Colors were similar

to the Colonial Revival (not to be confused with Colony Period). Jade, Blue, and Gold were the predominate body colors, with white trim.

Body	Trim
Gold	White
Light Blue	White
Jade	White

Roofs

For all roofing standards, see Appendix B (Design Standards AMC Ch. 17.40.150)

The repair and alteration of roofs should match the original shape and pitch. Distinctive decorative features of the roof should be retained.

452. Preserve original roof forms:

- Avoid altering the angle of the roof.
- Maintain the perceived line of the roof from the street.
- Roof additions, such as dormers, should be kept to a minimum, and shall be set back from the primary facade so that the original roof line is perceived from the street.
- Skylights ~~are shall not be considered permitted~~ on ~~Primary or Secondary historic buildings~~ ~~Contributing sStructures~~.
- Solar panels will be reviewed on an individual basis.

463. Protection

- Clean roof gutters and downspout seasonally to avoid moisture penetration and damage to sheathing and the underlying structure.
- Anchor roof material adequately to prevent wind and rain damage.
- Do not allow a leaking roof to go unprotected, as it accelerates the deterioration of a structure.

474. Alterations to ~~eContributing sStructures~~

- Do not install roof features that never existed or that create a false historical appearance. This can include cupolas, cresting, or ornate and carbolate chimneys. The use of close approximations of historic roofing materials is not recommended.
- Dormers, ~~skylights~~, roof vents, plumbing vents, wood stove flues, mechanical systems and roof decks need to be inconspicuous from the public right-of-way. Avoid damaging distinctive architectural features when making alterations.

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Commercial

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485. The important difference between residential and commercial architecture is the roof pitch. See Figure 25.

- The roofs of commercial architecture in Aurora are generally hidden by the extension of the front wall plane, which becomes a parapet. Roof and parapet guard railing must not be visible from the public way adjacent to the primary facades. See figure 24.
- ~~When considering the replacement of a roof forms avoid sloped or residential type roofs (which are generally gabled or hipped).~~
- The parapet provides architectural detail to the front of commercial architecture and hides the roof plane from public view. This look in encouraged is Aurora's commercial district.

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Residential

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496. Residential roof pitches in Aurora are generally steep.

- The shallow pitched roof appears to be out of place with historic architecture (over 50 years old) in Aurora.
- Gables generally face the street or run parallel to the street.
- Hipped roofs have a solid appearance and can be less steep than gabled roofs.
- Structural and decorative features like dormers, chimneys, verge boards, exposed rafters, and decorative work should be retained and rehabilitated on eContributing sStructures.
- See specific standards Appendix B (Design Standards AMC Ch. 17.40.150)

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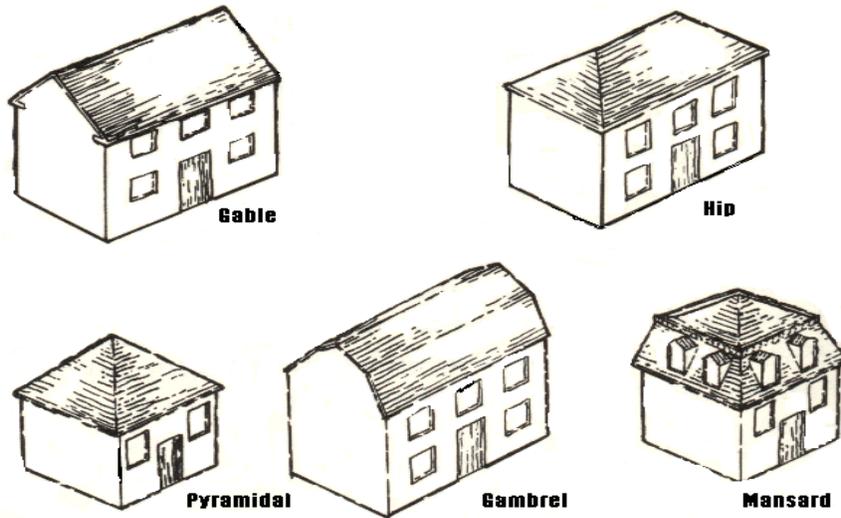
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Fig

Figure 186. Historic residential roof forms contribute to the character and can often be used to determine the architectural style of the structure. Variations of gable and hip type are the predominant roof form found in Aurora.

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5047. Preserve original roof materials where feasible.

- ——— Avoid removing roof material that is in good condition.
- ——— Where replacement is necessary, use materials similar to the original. Wood shingles are preferred, but composition shingles that are solid black similar in color to weathered gray or charcoal wood may also be used.
- ——— When composition shingles are used, they must be solid black of a single, solid color and not artificially shaded. It is usually necessary to see a full section of roofing material to see that there is no shading rather than to rely on the manufacturer's color swatch examples.
- ——— Where wood shingles survive and only portions need to be replaced, wood must be used.
- ——— In general a minimum of 75% of the historic roof structure should be preserved in order to retain the integrity of the resource. New structural elements may be introduced to supplement the existing structural system as necessary. (This principle is also a standard used by the Secretary of the Interior.)

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5148. In Oregon, wood shingles were the common roofing material prior to 1920.

- Sawn wood shingles with a 5" reveal are the most desirable for residential buildings in Aurora
- ~~It is recommended that a~~ All ~~colony~~ Colony period buildings **must** have sawn wood shingles with a 5" reveal. If this is not economically feasible, then ~~3-tab solid black color, such as gray, charcoal or black~~ composition roofing ~~may must be substituted, is recommended over close approximations such as wood shake or architectural style composition roofs.~~
- Avoid replacing deteriorated roof coverings with new materials that differ from the old to such an extent that the appearance of the building is altered. On Colony buildings of ~~"primary significance"~~ avoid close approximations when matching roof material. For example, sawn cedar shingles (smooth 16" shingles laid to a sharp-lined 5" reveal) were used on most early Oregon building styles and are critical to an accurate restoration project. Close approximations are weak links in the simple restoration philosophy set forth in the *Secretary of the Interior's Standards for Rehabilitation*. If cost or availability of material becomes an issue, use ~~gray, charcoal, or black 3-tab~~ composition roofing, as it is clearly different and will not confuse the viewer, such as would the use of shake shingles or larger sawn shingles with an 8" reveal.
- Rooftop buildup should never be more than three layers.
- If a portion of the original roof exists a section of it can be saved to document patterns, materials, and textures for matching in the future.
- ~~The composition shingle roof is acceptable for historic properties because it is more affordable than wood shingles and usually offers greater fire resistance.~~
- Metal roofs are not allowed unless the original roof was metal. Replacement metal roofs must match original in form, color and material. Documentation is required as is approval by HRB.

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5249. Dormers can open up an unused attic space for another room.

- Dormers need to be designed in proportion to the roof area.
- Dormer windows should be of the same proportions as other windows in the house.
- Dormers that did not exist historically **and are not documented to the original structure** are to be kept to the rear of the house and out of view from the public right-of-way. (Design Standards AMC Ch. 17.40.150 (21)).

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Chimneys

5350. Preserve historic masonry chimneys. See appendix B (Design Standards AMC Ch. 17.40.040)

- Preserve historic masonry chimneys.
- Repoint eroded mortar as needed.
- Use a lime-enriched soft mortar mix that is similar in character to that used historically.
- If replacement is necessary on contributing structures, use only red clay brick.
- On noncontributing structures, non-masonry materials may be used.

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Doors

The original location, size and proportions of doors, and the details of the design of the door itself often contribute to the character of an historic building, and must be preserved on contributing structures. (Door design and materials are not regulated on noncontributing structures.) See Appendix B (Design Standards AMC Ch. 17.40.050)

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541. Preserve the functional and decorative features of historically significant doors.

- These features include frames, sills, heads, jambs and moldings.
- Maintain the original door proportions.

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552. Protect historic wood with paint, varnish or other protective finish.

- Repair frames by patching, splicing or re-enforcing them.
- Avoid removal of historic materials.
- If replacement of features is necessary, replace in kind, to match the original. Doors shall be made of wood. Fiberglass and metal doors are prohibited.

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563. The original position of historic doorways must be retained. Avoid changing the position of historic doors.

- This is especially important on street-facing facades. New door openings may only be located on the rear facades.
- Also, do not cut new entrances into the facades that are visible from the public right-of-way.

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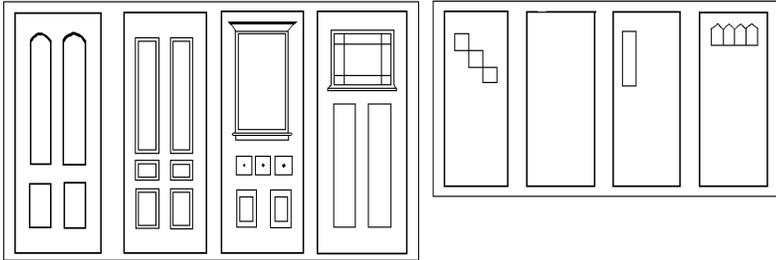


Figure 197. Appropriate traditionally-styled replacement doors on the left contrasted with typically inappropriate Post WWII contemporary-styled choices on the right.

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574. When replacing doors, use designs similar to those found historically-original material, size and decorative features shall be replaced in kind.

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- Simple paneled doors with transoms (an upper glass section) were typical of colonyColony and Post-colonyColony.
- Very ornate doors are inappropriate unless photographic evidence can substantiate their historic use on original structurese.

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Windows

Retain and preserve existing windows and distinctive decorative features like frames, muntins, sills, and moldings. The basic character-defining elements of windows are their proportions, the number of divisions, and the dimensions of the frames. Refer to Appendix B (Design Standards AMC Ch. 17.40.190)

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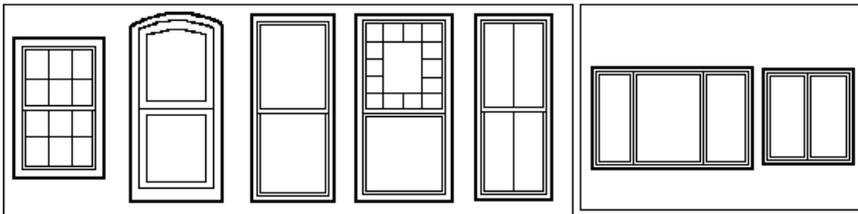


Figure 20+8. Appropriate traditionally-styled replacement windows on the left contrasted with inappropriate choices for historic homes.

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585. Preserve the functional and decorative features of original windows on Contributing Structures.

- Such features may include frames, sashes, muntins, mullions, glazing, sills, heads, jambs and moldings.
- If unrepairable, new windows, and windows on additions, need to be compatible with original windows in form, materials, type, pattern, and placement of openings. Windows must be wood. The broad and horizontal picture window is out of place on historic houses in Aurora.
- Aurora's residential architecture is suited to vertical window arrangements, either single, paired or triple, depending on the architectural style. The broad and horizontal picture window is out of place on historic houses in Aurora.
- Vertical windows are more compatible with interior proportions and details.
- Double-hung six-over-six light wooden windows are the most common window type in Aurora.
- Restoration experts recommend that the rehabilitation of original windows is more cost effective than replacement windows. New "maintenance free" products may mean they cannot be maintained for longevity.
- Casement windows swing out. They have a center divider which makes each casement appear as a separate vertical window. One casement can be paired with a fixed pane window to provide a pleasing effect at less cost.
- Windows must be trimmed with wood, following the proportions and detailing that exists, or that is correct for the style of architecture.
- Transom and clerestory windows were often placed over doors in Aurora.
- Historic awnings were made of canvas and were operable. Awnings should fit with the style of window and should be made to look congenial compatible with the architecture in color and design. See also Awnings. For applicable standards refer to Appendix B (Design Standards AMC Ch. 17.40.030).

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596. Protect historic wood features by painting or staining them.

- Repair frames and sashes by patching, splicing or reinforcing.
- Avoid removal of historic materials.
- If replacement is necessary, **replace in kind, to match original**. No exposed metal windows are allowed. For materials standards, see Appendix B (Design Standards AMC Ch. 17.40.190)
- Deterioration of windows usually begins on horizontal surfaces where water collects.
- Annually ensure that materials like the frame and glazing are maintained and protected from the elements.

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- ~~The properly painted window is the best protection from the weather.~~

- ~~Refer to technical information available from Aurora City Hall.~~

6057. Do not ~~Avoid~~ change~~ing~~ the position of historic windows on contributing sStructures.

- ~~Also avoid adding n~~New windows openings are only permitted where they are not visible from the right ~~aof~~ way to facades that are visible from the street.
- ~~New windows and window openings shall match the materials, style and trim of other windows on the structure.~~
- ~~Windows visible from the right of way shall be vertically oriented. may be introduced on secondary facades, if they are in character.~~

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6158. Wood frame storm windows are desirable on historic architecture.

- ~~Aluminum storm windows can be double hung and come in colors that are compatible with historic architecture.~~
- ~~If involved in a local weatherization program with the local utility company explores window options that will be compatible with the historic architecture, i.e., interior storm windows.~~
- ~~Modern shutters are not appropriate for Aurora's residential architecture~~Consider storm windows that are applied inside instead of exterior types-
- ~~Wooden shutters may only be used with photographic evidence of prior usage on contributing structures.~~
- ~~Noncontributing Structures in the Residential Overlay must also be consistent with vertical orientation of windows. See Appendix B (Design Standards AMC Ch. 17.40.190 (d) Is this correct?~~

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59. Protection

- ~~Deterioration of windows usually begins on horizontal surfaces where water collects.~~
- ~~Annually ensure that materials like the frame and glazing are maintained and protected from the elements.~~
- ~~The properly painted window is the best protection from the weather.~~

Porches

Porches are often one of the most important character-defining elements of the primary facade of a residence. ~~Please r~~Refer to Appendix B (Design Standards AMC Ch.17.40.130)

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- ~~— Avoid removing or replacing original doors and porches and distinctive decorative features like columns, balustrades, and stairs.~~
- ~~— When trying to replicate an historic porch that has been removed, base your construction drawings on historic photographs of your structure in the Historic Inventory and sound historic research. If unable to obtain historic photographs, consider designing a porch based on a period design suitable for your style of architecture. Replicate trim details and siding material of the house.~~
- ~~Never construct new porches that destroy or cover up character defining original features of the architecture of your building.~~

~~Avoid removing or replacing original doors and porches and distinctive decorative features like columns, balustrades, and stairs. Porches protect entrances from rain and shade in the summer. They are often one of the most important character defining elements of the primary facade of a residence.~~

~~When trying to replicate an historic porch that has been removed, base your construction drawings on historic photographs and sound historic research. If unable to obtain historic photographs, consider designing a porch based on a period design suitable for your style of architecture. Replicate trim details and siding material of the house. Never construct new porches that destroy or cover up character defining features of the architecture.~~

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Figure 2119. Clark Moor Will's sketch of Wilhelm Keil's "Das Gros Hous" shows an example of a shed roof porch. This structure has been demolished but can be seen behind the Sarah and E manual Kraus house illustration of figure 7-located on Ehlen Road.

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6260. If porch replacement is necessary on Contributing Structures, reconstruct it to match the original in form and detail.

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- Avoid removing or replacing original doors and porches and distinctive decorative features like columns, balustrades, and stairs.
- When trying to replicate an historic porch that has been removed, base your construction drawings on historic photographs of your structure in the Aurora Historic Inventory and sound historic research. If unable to obtain historic photographs, consider designing a porch based on a period design suitable for your style of architecture. Replicate trim details and siding material of the house.
- Never construct new porches that destroy or cover up character-defining original features of the architecture of your building.
- ————Porch columns should be similar to those found historically.
- ————Use materials similar to the original (no composite or plastics).
- ————Avoid decorative elements that are not known to have been used on your house or others like it.

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- On buildings where no evidence of a porch exists, a new porch may be considered that is similar in character to those found on other representative buildings.
- Roofing material of the porch typically matches the roof of the house. Rafters are exposed if the house eaves are exposed. Columns define the character and style of detailing of the porch. Trim details at the top and base of the columns are important architectural elements. Railings vary, but are the feature that defines the porch space, and makes the porch an effective outside room.

• ~~Avoid removing and replacing entrances and porches with a new entrance or porch that does not convey the same look as the historic. See Appendix B (Ch. 17.40.130).~~

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634. Avoid encasing historic porches.

- ~~Front~~Primary, character defining porches must not be enclosed by walls, screens or windows. (Design Standards AMC Ch. 17.40.130)
- Secondary porches may be enclosed, if configured in such a manner that the historic character of the structure is still visible.
- ~~Do not enclose porches in a manner that creates a look that is not compatible with historic structures, this might include using brick or stucco and the installation of aluminum storm windows to enclose the space~~

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Figure 229. Example of a hip roof porch on the Henry Kraus house located at 21544 Liberty Street. Highly stylized hip roof porches were typical on Post-Colony Victorian houses.

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642. Protection

- Keep materials clean and painted to preserve them from deterioration that results from weathering and continued use.
- On contributing structures porches, including floors, shall be painted. Stained or natural finished wood is not allowed. (Ch. 17.40.130)
- On non-contributing structures, porches on front elevations shall be painted.

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Existing Alterations on Historic Buildings

Refer to Appendix B-Visual Facades (Design Standards AMC Ch. 17.40.180) and Additions to Contributing structures (Design Standards AMC Ch. 17.40.020).

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653. Consider that early alterations may be significant and merit preservation.

- Many additions to buildings that have taken place in the course of time are themselves evidence of the history of the building and its neighborhood.

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~~These additions may have developed significance in their own right, and these elements must be preserved.~~

664. Preserve older alterations that have achieved historic significance in their own right. For standards on previous additions see (Design Standards AMC Ch. 17.40.020)

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- ~~An example of such an alteration may be a porch or a kitchen wing that was added to the original building early in its history.~~
- ~~Generally these alterations in Aurora were similar in character to the original building in terms of materials, finishes, and design.~~
- ~~Most alterations prior to 1940 have achieved historical significance.~~
- ~~Some later alterations also may have achieved historical significance and should be evaluated for preservation on a case-by-case basis.~~

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Figure 234. Preserve Older Alterations That Have Achieved Historical Significance

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675. More recent alterations that are not historically significant may be removed.

- ~~For example, asphalt siding has not achieved historic significance and it usually obscures original clapboard siding. In this case, removal of this alteration, and restoration of the original material must occur.~~

Relocating Historic Buildings

Refer to Appendix C (Design Standards AMC Ch. 17.36) Moving and Demolition of Structures. The historic relationship of a building to its site is a significant part of its character and is vital to interpreting the history of the community. ~~Historic Contributing Structures, both primary and secondary,~~ should be retained on their original site. ~~Special circumstances may merit consideration of relocating a structure, however. Although relocation is not encouraged, a continuing flood hazard or other environmental factor may make it imperative that a structure be moved away from danger. Criteria for considering moving buildings are presented here.~~

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In some rare cases, an historic building may be considered for relocation to an appropriate setting. In most cases, the building should be moved intact. In some situations, however, moving the entire building intact may not be feasible, and it may become necessary to move portions of the structure separately, and then reassemble it on the new site. This process is not the same as demolition: Demolition is the destruction of the building without regard for preserving building materials or building components intact. The process of disassembly and reconstruction is designed to relocate the building and reinstate it in a condition as close to the original as is feasible. It requires special care to assure that disassembled materials are properly managed during transit and re-assembly.

Reasons that May Justify Moving A Historic Structure

- The building is historicContributing, but research shows that it has been repeatedly relocated and therefore possesses no integrity of location.
- Relocation is the only means of saving the building from certain loss by natural agents; e.g., frequent flooding or unstable soil conditions threaten the property.
- The building in question intrudes on public right-of-way.

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In general, preservation of the building on its original site is much preferred or to another site within the Historic district, however, the Historic Review Board will consider this approach in special cases. In general, within the Historic District, only relocation within the same legal parcel may be considered, such that the historic chain of title that is associated with the land is preserved. alternative sites (Design Standards AMC Ch.17.36.010).

Relocation is a severe action. The following procedures serve as a guide, and will be approved only if the questions in Guidelines 68-76 can all be answered affirmatively.

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686. Will the original building and site condition be accurately recorded before removing the structure from its existing site?

- Detailed photographs, notes, and drawings must be prepared which accurately record the exterior design, character of interiors, finishes, and general structural system.
- Reference measurements should be included of overall building dimensions, set-backs, and relation to adjacent buildings.
- A copy of this documentation must be filed permanently with the Historic Review Board to be included in the Aurora Historic Inventory.

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6967. Will moving procedures protect the historic elements of the building?

A clear sequence of steps must be described for how the building's materials or elements will be protected, including any appendages or elements that will be removed, labeled, and stored for re-assembly at the receiving site.

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- Removal procedures must be designed to minimize damage to the historic materials.

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- Any building components that are to be disassembled must be labeled using a system that will assure accurate reconstruction.
- A plan for storing the building and its components must provide for their shelter from weather or vandalism.

7068. Will the relocation site provide an appropriate context for the building?

Where possible, the new site should convey a character similar to that of historic site, in terms of scale of neighboring buildings, materials, site relationships, and age. The building should be located on the site in an orientation similar to the original setting.

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7169. Is there a commitment to complete the relocation and subsequent rehabilitation of the building?

The board must city should have a strong assurance that the rehabilitation project will be followed through to completion. It is not the intent to allow buildings to be relocated to facilitate development on the original site without assurance of proper preservation of the historic structure. The city county may consider these options as demonstration of a commitment to complete the project:

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- A performance bond, in an amount adequate to cover the estimated cost of the relocation and rehabilitation. The bond may be used to complete the work if rehabilitation does not occur in reasonable time.
- Proof of secure project financing. Where there is a strong demonstration of the financial ability to complete the rehabilitation, and a reliable loan schedule indicates a likelihood of the project moving ahead, this may be acceptable.

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729. Will new replacement materials be kept to a minimum in the rehabilitation process?

All applicable design standards apply. See Appendix B (Design Standards AMC Ch. 17.362).

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In relocating an historic building, subordinate additions or trim may be removed. The Board prefers that these materials be preserved and reassembled at the new site and discourages replicating original elements in new materials simply as a matter of convenience. Although the Board recognizes that it is impossible to predict exactly how much replacement material may be required on a project, it expects a good faith effort to retain as much of the original material as possible.

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731. Have all alternatives to relocation been reasonably considered? Moving Structures into the Historic District

Structures proposed for moving into the Historic District shall have been constructed before 1921 and shall meet design standards of Appendix B (AMC Ch. 17.32). Options that should be considered prior to relocation to another site are:

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- Restoring the building at its present site.

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- ~~Stabilizing the building from deterioration and retaining it at its present site for future work.~~
- ~~Incorporating the building into a new development on the existing site.~~

72. ~~Is the structure threatened by further deterioration if relocation does not occur?~~

~~If the building will continue to deteriorate through neglect, or if it is particularly susceptible to vandalism, then relocation may be desirable.~~

73. ~~Is the proposed rehabilitation plan appropriate for the building?~~

~~The Board must have assurance that the proposed design for the building and its site will be reviewed using appropriate standards for rehabilitation of historic buildings. This may include the following:~~

- ~~Consideration of appropriate design alterations to the building.~~
- ~~Consideration of appropriate technical rehabilitation procedures for maintenance and repair of historic building materials.~~
- ~~Consideration of the site planning for the building.~~
- ~~Consideration of the design and character of adjacent buildings and site features.~~
- ~~Consideration of new construction proposed for the site.~~

74. ~~Is there adequate assurance for continued preservation of the building at its relocated site?~~

- ~~The Board will seek assurance that the historic building will have a viable use in the development of the site that will assure its continued maintenance after the approved rehabilitation work is completed.~~
- ~~If all of these questions can be answered in the affirmative, then the Board may consider approving the relocation of an historic building.~~

~~*Note: Any building that might be moved into the district will be reviewed as being new construction.*~~

Church Rehabilitation and Restoration

The Aurora Presbyterian Church and Christ Lutheran Church are the two Aurora churches located within the current historic district boundaries. The Aurora Presbyterian was constructed in 1912; the original Lutheran church was finished in 1900. The Lutheran church was completely changed in 1950, and bears no resemblance to its original size or style. Plans are underway for another facelift that will change the church's facades while recognizing some features of the original church design.

The original Aurora Colony Church was finished in 1867, and was attended regularly by members of the Colony Colony until about 1880. The Colonists, a non-denominational German Christian communal society, apparently identified the church building with the

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~~colonyColony~~, and when the ~~colonyColony~~ formally disbanded the members stopped attending services in the building. It was torn down in 1912.

Many of the former colonists eventually joined the other two congregations. The Aurora Presbyterians started meeting in 1888, and held services and Sunday School activities in various old ~~colonyColony~~ buildings including the ~~colonyColony~~ school, and its Spinning Mill. The completion of the Presbyterian Church building coincided with the dismantling of the ~~colonyColony~~ church, and some of the pews from the original were put into the new church, where they are still being used today. The Presbyterian Church building was first constructed between First and Second Streets on Liberty. It was moved between Second and Third Streets when Highway 99E came through town in 1931. Its original tower was taken down at that time, and only recently restored.

745. Churches are often faced with issues related to expansion or disabled accessibility because a congregation usually grows with time.

- ~~OriginalExterior~~ surface material should be retained and rehabilitated rather than replaced or covered up.
- ~~Interior features need to be analyzed and protected if deemed significant.~~

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756. It is important to design ramps and door widening in a manner that respects the historic features of the exterior of the building when making a church accessible for the disabled.

- ~~A ramp can be positioned in a location that is not obtrusive to the historic architecture.~~
- ~~Railings, ramps and trim details need to be sympathetic to historic features.~~
- ~~The retention of original windows, doors, steeples, and detailing is critical.~~
- ~~Every attempt should be made to locate additional parking spaces to the rear or sides of the church.~~
- ~~Significant landscape features need to be retained and enhanced.~~

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Storefront Rehabilitation and Restoration

See ~~Appendix B: Design Standards AMC (Ch. 17.40)~~

The commercial storefront is the most noticeable feature of an historic commercial building. The storefront plays an important role in the advertising and merchandising strategy of a business. A two story storefront deserves careful consideration because the exterior arrangement of access stairs, windows and ornamental details were designed to be part of the commercial storefront. Nineteenth and early twentieth century storefronts had large plate glass display windows, bands of smaller transom windows above, and recessed entries with double

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doors. Cast iron columns, brick pilasters, and wood details all provided decoration to the historic storefront.

The first step in determining if a commercial building should be rehabilitated is to evaluate the existing conditions of the storefront and if it is a ~~Contributing~~ Structure. Certain procedures are not recommended when considering rehabilitation of an historic structure such as: ~~The~~ removal of character defining details, craftsmanship and materials, ~~is to be avoided~~. Introducing non-historic elements, and changing the location of a storefront's entrance may not be allowed, ~~is not advised~~.

Maintenance is best done on an annual basis to prevent deterioration of significant details. Vacant buildings need to be protected so that broken and unsecured doors and windows do not allow for damage that can be caused by the weather or vandals.

The Aurora Historic District encompasses several different historic commercial periods, each building will be judged according to it's age and to the period it represents. Carefully read all Design Standards AMC 17. 40 to determine what will apply to your particular building, whether Contributing or Noncontributing classification.



Figure 242. Located on the northwest end of Main Street, the building on the left was the "New Aurora Hotel" (circa 1895). The building on the right, closer to the railroad track providing convenient shipping, was constructed to handle the new hop brokerage business that developed after the ~~celony~~ Colony period ended. Both buildings were destroyed around 1960.

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~~77. When possible retain or rehabilitate the original size, division and shape of display windows on commercial structures~~

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~~76.~~

- ~~When possible retain or rehabilitate the original size, division and shape of display windows.~~—Windows which were either original to a historical structure should be rehabilitated and retained. Historic photographs available at the Aurora Colony Museum may provide documentation and early images which are valuable for rehabilitating or restoring the storefronts along Aurora’s Main Street.
- ~~When replacement of windows is necessary, see Appendix B (Design Standards AMC Ch. 17.40.190) for specific standards for both contributing and non-contributing structures in the commercial zone.~~
- ~~All window glazing should be clear and non-reflective.~~

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~~77. Recommendations for New Construction in the Historic Commercial Zone.~~

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- ~~Avoid creating a look that is not based in historical fact. Aurora has a unique look; avoid trying to create a look that appears to be “historical,” or one that creates a “Disneyland” effect in new construction~~
- ~~Storefront display windows should be located only on the first floor level. All window glazing should be clear and non-reflective.~~
- ~~Rehabilitate display windows that have been altered, enclosed or covered up. It is recommended that at least 50% of the length of the primary façade should have an opening or windows.~~
- ~~Property owners are encouraged to remove non-compatible alterations including small aluminum slider windows, non-historic siding, and non-compatible doors.~~
- ~~Transom windows, or a series of transoms (consisting of single or multiple panes of glass), above plate glass display windows admit additional light into the interior of a building. They are effective because of the high ceilings that are characteristic of historic architecture.~~

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- Second story windows in Aurora’s commercial architecture ~~are should allowed as long as they~~ fit into the design ~~of the structure element.~~ (Design Standards AMC Ch. 17.40.190 A,C)

Second story windows should be vertically proportioned single or double hung sash or casement sash type and should be grouped such that the sum of the opening widths is less than 50% of the wall width.

- ~~Clear glass should be used in commercial windows.~~
 - ~~Privacy can be accomplished with curtains rather than paper taped to windows.~~
- The first floor is often separated from the second floor by a horizontal architectural detail, which can be a string course of decorative bricks, awning, or cast iron work.

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~~78. The first floor is often separated from the second floor by a horizontal architectural detail, which can be a string course of decorative bricks, awning, or cast iron work.~~

- ~~It is important to maintain this differentiation.~~

Awnings

~~7879.~~ Photographic evidence suggests that some of Aurora's commercial structures had awnings. Refer to **Appendix B (Design Standards AMC 17.40.030)**.

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- ~~Each project shall be reviewed by the HRB for approval.~~
- ~~Awnings are not appropriate on residences that have been converted to commercial use.~~
- ~~Avoid awning styles that are out of must be in character with the historic building. Brightly colored and flamboyant patterns on canvas awnings are not appropriate prohibited.~~
- ~~Back-lighting of awnings is not allowed.~~
- ~~Writing on canvas is limited to border areas only. See Figure 31.~~

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Figure 253. This photograph of the Saddler and Krause General Merchandise Store illustrates appropriate historic awnings.

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Signs

Signage should not obscure architectural elements. Design, color, material and style of signs should complement the building facade. For a complete guide to signage, contact City Hall for a copy of Title 17.24 (Ch. XXX) 8 of the City of Aurora Municipal Code.

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Altering the Use

Although change is characteristic of commercial building because occupancy turns over on a cyclical basis, uses that are closely related to the original use are preferred. Every effort should be made to provide a **compatible use** for the building that will require minimal alteration to the building and its site. Downtown development occurs over decades and can reflect a variety of changes to historic buildings, some of which may be significant in their own right. (See Appendix X (Ch. XXX) Attachment C Secretary of the Interior's Standards for Treatment of Historic Properties).

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7980. Seek uses compatible with the historic character of the building.

- — These uses should aid in interpreting how the building was used historically.

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- Residential functions and cottage industries are compatible with the historic residential structures of Aurora.
- In some cases, non-conforming uses are also compatible with their historic buildings.

804. ~~Seek~~ Uses ~~uses~~ requiring minimal change to the existing structures ~~are~~ appropriate.

- If a proposed new use requires such radical alteration to a structure's significant elements, then the entire concept is probably inappropriate. Experience has shown; however, that in most cases designs can be developed that respect the historic integrity of the building while also accommodating new functions.

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- When considering an alteration to a commercial building, be sure to respect the original style and period of construction.
- Avoid creating a look that is not based in historical fact. Aurora has a unique look; avoid trying to create a look that appears to be "historical," or one that creates a "Disneyland" effect in new construction.

- When attempting to restore a building to a period look, base the alteration on the structure's pictorial evidence and sound historical facts. ~~Avoid trying to guess what the building might have looked like.~~

- Photograph collections from the Aurora Historical Inventory are at Aurora City Hall, old Aurora Colony Historical Society Museum, Marion County Historical Museum, and the Oregon Historical Society can provide reference photographs to use when considering an alteration of the use.

- See Appendix B (Design Standards AMC Ch. 17.40.180) Facades

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New Construction Guidelines for Additions, Infill Structures and Neighborhood Development

New Additions to Existing Buildings

~~See Appendix B Design Standards AMC (Ch. 17.40.020) Additions to Structures.~~

New additions are to be ~~similar compatible~~ in scale, height, massing and detail to the historic architecture. An appropriate addition must protect the integrity of the original structure.

812. Avoid new additions or alterations that would hinder the ability to interpret the design character of the historic period of significance in Aurora.

- ~~All buildings and additions should be recognized as products of their own time.~~ New designs that create an appearance inconsistent with the historic character of the building are ~~inappropriate discouraged~~.
- Additions should be in harmony with the old and at the same time be distinguishable from the old so that the evolution of the district can be interpreted correctly. ~~(See Appendix H Attachment C)~~
- When developing a design for an addition to an existing structure, consider how the new addition will fit within the components that make up the existing facades, and also the ways in which the addition will relate to the broader context of surrounding buildings. It is always best to think of a new addition as one element in a continuous structure, which must fit into an existing framework comprised of varied older buildings.

823. Construction of new additions on historic commercial architecture can be ~~extremely difficult challenging~~ to execute in a tasteful and sensitive manner.

- New building finishes ~~should must~~ be similar in material, quality, color, and dimension to the historic finishes.
- Refer to US Department of the Interior, *Preservation Assistance Division #14 Preservation Brief*.
 - ~~No additions to Colony Buildings shall be considered.~~
 - ~~All additions to any historic building must be documented in the Historic Inventory List.~~

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834. Design new additions to historic buildings such that they will not destroy any significant historic architectural or cultural material.

- ~~_____~~ New additions must not obscure significant features.
- ~~_____~~ Additions to Colony Buildings are discouraged.
- ~~_____~~ All additions to any eContributing sStructure must be documented in the Historic Inventory.
- ~~_____~~ Locate new additions back from primary facades in order to allow the original proportions and character of the historic facade to remain prominent, or set them apart from the main building and connect them with a "link."
- ~~_____~~ Second floor additions to existing commercial structures are not desirable. However, roof additions can be designed to be set back so as not to be visible from the sidewalk.
- ~~_____~~ Additions ~~shouda~~ be "reversible," such that a future owner may be able to restore the building to its historic condition if so desired.

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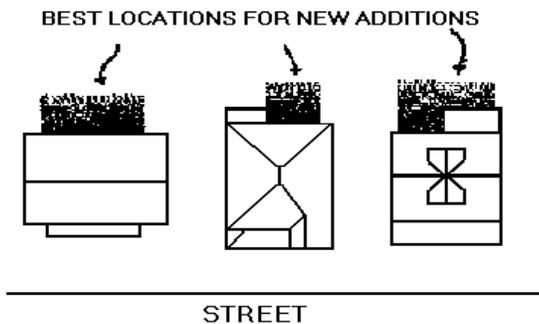


Figure 264. Locate New Additions Back from Primary Facades

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845. Additions ~~shouda~~ be compatible in size and scale with the main building.

- ~~_____~~ Set back free standing additions from primary facades in order to allow the original proportions and character to remain prominent.
- ~~_____~~ Such a Additions should be visually subordinate to the main historic building.
- ~~_____~~ Additions to houses should respect their residential character. New additions to contributing structures may only be placed on the rear elevation.
- ~~_____~~ Similarly additions to historic commercial buildings should respect the original building type.

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~~They also should be compatible with the scale of the neighborhood.~~

856. Respect traditional entrance patterns when planning additions to buildings.

- ~~Retain the appearance of the relationship of primary entrances, usually facing the street, when planning new additions. Refer to Appendix B-Design Standards AMC (Ch. 17.40.050) Doors.~~

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Infill Structures and New Neighborhood Development

Objectives of these Design Guidelines for Infill Structures and New Neighborhood Development include allowing recommendations in the construction of buildings that are contextual, do not overpower existing historic structures, are sized and patterned sympathetically with historic structures, and are constructed of traditional or approved similar replacement materials. ~~See Appendix B-Design Standards AMC (Ch. 17.40) and (Ch. 17.40.110).~~

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Planning a New Construction Project

~~The following guidelines offer general recommendations of the Design Standards in Appendix B (AMC Ch. 17.40) form design elements for all new buildings in Aurora's Historic District. The intent of these guidelines standards is not to be overly specific or to dictate certain designs to owners and designers or. Nor is the intent to encourage copying or mimicking of particular historic styles. Design standards These guidelines are intended to provide a general design framework for new construction that will be compatible with Aurora's historic architecture. Good designers can take these standard values and have the freedom to design appropriate, new architecture for Aurora's Historic District.~~

The general aim of the new construction guidelines is to encourage compatibility with the character and quality found in the 19th and early 20th century buildings found in the district rather than compatibility with more recent structures. The language of the Design Guide guidelines, therefore, is keyed to the districts' "Historic Architectural Styles." ~~Exceptions to this general rule may be found, however, where a new structure is proposed adjacent to other more recent structures. In these cases, review will also consider the new building's response to adjacent buildings and/or neighborhoods.~~

When designing a new building in the historic district one needs to recognize that while there is an overall distinctive district character, there is, nevertheless, a great variety of historic building types, styles, and scales located throughout the district, as illustrated in Appendix Attachment I (XXX). "Getting to Know Aurora's Historic Architectural Styles." Likewise, there are several types of new construction that might be constructed within the district. The applicable design parameters for these new buildings will differ and are organized below based on the following types of infill:

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Commercial Infill

Traditional commercial infill buildings are the types that fill in vacant lots within the larger streetscape of the downtown core area surrounding Highway 99E and Main Street. This type of building generally has a limited setback, attaches to or is very close to neighboring structures, and should take many of its design cues from the adjoining buildings.

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Figure 275. This sketch taken from the Aurora Downtown Improvement Plan illustrates appropriate Commercial Infill.

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Residential Infill

These buildings are new dwellings that are constructed on the occasional vacant lot within a block of existing houses. Setback, spacing, and general massing of the new dwelling are the most important criteria that should relate to the existing historic structures, along with residential roof and porch forms. New structures shall be subject to all design standards of AMC (Ch. 17.40) including setbacks (Ch. 17.40.160).

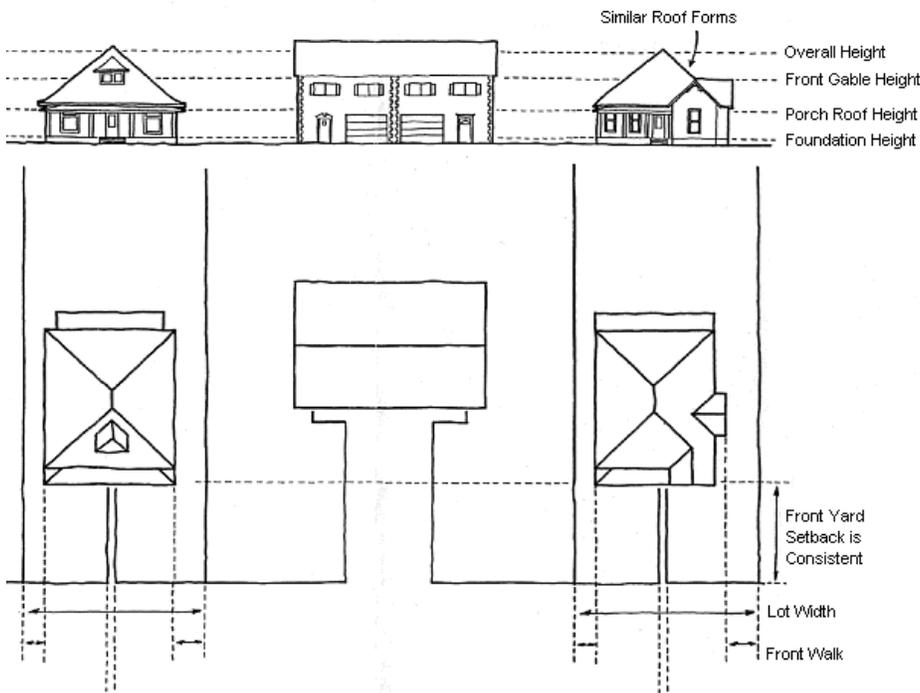


Figure 286

This figure illustrates how inappropriate new residential infill detracts from the established pattern, scale and rhythm of the existing fabric of adjacent historic bungalows.

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New Neighborhood Development

New neighborhood development may be located on large parcels that are subdivided. The design of residences in these developments should relate to the character of adjacent neighborhoods. When a pre-established residential pattern is not available or visible, the new development should relate to the existing historic structures in the surrounding area. New construction should be compatible with the size, scale, massing, height, rhythm, setback, color, material, building elements, site design, and character of the nearby neighborhoods or historic properties.

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Figures 27 & 28. These photos illustrate how new construction does not need to imitate the past but can still be compatible with older structures and sensitive to the patterns within the existing built environment. The photo on the left is an early 20th Century Bungalow located at 21311 Main NE. On the right is a new residence included in the Kasel Court development located at 14624 Kasel Court.

Lot Location

When feasible, preserve significant views of landmarks and community focal points by carefully placing infill or new construction.

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867. Existing building fabric should act as a model for locating new infill. Refer to Appendix B Design Standards AMC (Ch. 17.40.160).

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Commercial infill — Construct new commercial buildings with a minimal or no setback in order to reinforce the traditional street wall.

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Figure 29. The Post Colony Ice Cream Shop, once located on Main Street between 1st and 2nd Streets demonstrates how a recessed door allows for increased window display. It was dismantled in 1962.

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Figure 30. The Fry Blacksmith Shop, 1867 illustrates how a false front becomes a decorative parapet hiding a pitched roof in order to give the appearance of a larger commercial style building. Note that even though a work shop, there was some decorative trim. This was located where the Walker Fry house stands on Main Street.

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Building Shape, Height and Width

Existing building scale in Aurora's historic district needs to be respected and evaluated when adding to or modifying the built environment within Aurora's Historic District. Refer to [Appendix B Design Standards AMC, \(Ch. 17.40 and Ch. 17.40.100 height\)](#).

889. Existing buildings mass, height and width must should serve as the model and scale for new construction.

- General - Renovations and new construction should respect and be in proportion to the existing building heights.

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- General - Massing should be or appear to be rectangular. Compositions with a primary mass and attached or linked secondary structures may be acceptable upon review.
- Residential Infill and New Neighborhood Development – Generally, historic residential building heights were between 18 to 27 feet to the top of the roof. When new construction is near existing historic structures, it should be sensitive to and in context with these height restrictions.
- Residential Infill and New Neighborhood Development - Typical widths of historic primary facades were between 30 to 45 feet. Once again, new residences which are located near existing structures should be similar.

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Figure 3129. "Streetscape". This streetscape of Post Colony businesses on the East side of Main Street shows that even though the size of buildings varies, the facade designs maintain a complimentary scale in their relationship to each other.

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This photo of a few now destroyed retail shops on Main Street north of 2nd on the east side of the street illustrates that although building height were not consistent they remained within the scale of neighboring structures:-

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Setback

8990. Maintain the close orientation of commercial storefronts to the sidewalk.

- **Commercial** – Photo documentation reveals that most Colony style commercial structures were set close to the sidewalk maintaining zero setback. A few examples include the Colony Store and the Will-Snyder Building.
- **Commercial** – Maintaining the connection between building and setback is important as it mitigates the architectural impact on the street facade.
- **Commercial** – Where setbacks are established by residences that have been turned into commercial use, new construction there should maintain the same setback.
- Refer to **Appendix B-Design Standards AMC (Ch. 17.40.160 Setbacks)**.

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Figure 329. Notice that all of the structures about the sidewalk in this view of Main Street taken around 1910 looking south.

Materials

904. The texture of exterior building materials shall be similar to those used historically.

- Refer to Appendix B-Design Standards AMC (Ch. 17.40.170 Siding)
- Use wood or wood composite (wood grain or smooth surface) siding in horizontal lap, shingle, or vertical board and batten forms according to contributing status.
- All siding must be painted. Stained or clear varnishes for the "natural" look are prohibited. See Appendix B-Design Standards AMC (Ch. 17.40.120 Paint).
- Masonry is permitted.

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912. All synthetic siding materials are ~~inappropriate-prohibited, as primary siding materials.~~

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- ~~These are inappropriate because they are not similar in character to historic materials. Synthetic materials therefore are to be avoided, since they would result in a change in character from historic materials.~~

Roofs (Refer to Appendix B, Design Standards-AMC Ch. 17.40.150 Roofs)

923. Smooth-sawn wood shingles are encouraged. See also Roof Guidelines 45-52~~42-47XX-XX45-52, pgs. 42-45XX-XX47-50.~~

- ~~Use of material to fit style of house structure is encouraged.~~
- ~~All materials will need to be approved on a case-by-case basis.~~

934. Roofs shall be similar in scale to those of historic residences or Aurora's historic commercial structures. Refer to Appendix B Design Standards AMC (Ch. 17.40.150).

- ~~General - The primary ridge line of new buildings should all not exceed 35 feet without a change in height.~~
- ~~Residential Infill and New Neighborhood Development - The primary ridge line is encouraged to be parallel to the street, unless surroundings dictate otherwise.~~
- ~~Residential Infill and New Neighborhood Development - The range of historic ridge lines is from 30 to 45 feet long~~

945. Roofs shall be similar in form to those of historic residences or Aurora's historic commercial structures.

- ~~Residential Infill and New Neighborhood Development - Appropriate roof pitches will be determined by the house style and location.~~
- ~~Residential Infill and New Neighborhood Development - The pitch of the roof should be similar to those found historically or in context with adjacent homes.~~

Doors and Windows (Refer to Appendix B, Design Standards AMC Ch. 17.40.190)

~~The ratio or proportion of opening to wall should all be similar to surrounding historic residences' or commercial buildings' primary facades.~~

956. Many of the commercial buildings in Aurora were designed to house a variety of businesses. See also Door and Window Guidelines 54-57~~51-59XX-XX, pgs. 41-42XX-XX.~~

- ~~Commercial - Generally, Some of these commercial buildings had central recessed door openings which were flanked by large plate glass windows with a vertical band of smaller transom windows above.~~
- ~~Commercial - Recessed entries provide more space for window displays, offer a sheltered area for customers, and emphasize the entrance from the sidewalk.~~

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- ~~Commercial~~ Basement entries are not **recommended** to be emphasized, but styled as a traditional secondary accesses or cellar entries, rather than as split-level entries.
- ~~Commercial~~ Historic commercial doors and their openings should be maintained.

Figure 334. The Will-Snyder General Merchandise store on 21610-20 Main Street has been altered to accommodate a different business in each bay however the mezzanine windows have remained intact.

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Figure 34. Large Post Colony Buildings often housed multiple businesses. New buildings can also achieve the suggested mass by allowing for multiple uses. The Will Brothers store, also once called Will Brothers Bazaar was later used as a mortuary, a publishing/newspaper office and several antique stores. was lost to fire in 2002. It had residential apartments upstairs.

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967. Doors and windows should be similar in scale and proportion to those found on historic residences in Aurora. For specific requirements, refer to Appendix B-Design Standards AMC (Ch. 17.40.050, 17.40.190).

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- Residential Infill and New Neighborhood Development—Wood doors, window frames and sashes would be preferred.
- Residential Infill and New Neighborhood Development—The use of synthetic materials for frames, sashes and muntins may be permitted if they are stylistically similar in scale and profile.
- Residential Infill and New Neighborhood Development—Wood trim boards should be used to frame the window.
- Residential Infill and New Neighborhood Development—Paneled doors with transoms (upper glass panels) are appropriate.
- Residential Infill and New Neighborhood Development—Windows should have divisions similar to those seen historically.

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Ornament and Detail

978. Color schemes should be simple.

- Use one base color for the building.
- ~~It is recommended o~~One or two accent colors ~~may be used.~~
- Select colors that are similar to those ~~used historically in Aurora found in Appendix A at City Hall.~~
- ~~More c~~Color recommendations can be found in the Color section which begins ~~on page at #43, XX40 of these this Design Guidelines and approved color samples are also on file at City Hall.~~

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989. Chimneys should be subordinate to the roof form. ~~Refer to Appendix B Design Standards AMC (Ch. 17.40.040).~~

- Residential Infill and New Neighborhood Development - Brick chimneys, similar to those found historically, are allowed.
- ~~Residential Infill and New Neighborhood Development - Metal pipe stacks may be used if they are located on rear roof portions.~~

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99100. If ornamentation is applied to new buildings it should be used in a manner similar to that found historically on residences in Aurora.

- Residential Infill and New Neighborhood Development - Ornamental trim is typically found on porches, and in eaves.
- ~~Residential Infill and New Neighborhood Development - Contemporary interpretations of traditional details are encouraged.~~

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Porches ~~(Refer to Appendix B, Design Standards AMC Ch. 17.40.130)~~

1001. Porches shall be used to define primary entrances.

- The porch form should be similar to those seen historically.
- The porch should be oriented to the street.
- Wood posts are appropriate supports. ~~Masonry or metal are inappropriate.~~

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Drive-in and Drive Thru Structures

1012. Drive-in and Drive-Thru commercial structures were not part of the built landscape during the late 19th and early 20th century. As a result, such structures are prohibited within Historic District boundaries. **(AMC 17.40.060 16.XXX)**

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Secondary Structures **(Refer to Accessory Structures AMC 17.28.XXX)**

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1023. Secondary structures are encouraged; however, they should be set back and not block the view of any primary or secondary structures.

- ~~General~~ They ~~should~~ can be used to reduce the mass of the primary building.
- ~~General~~ Secondary structures should be set back from the primary elevation of the main structure.
- ~~General~~ They may be connected by walkways to the main building.
- ~~General~~ These buildings ~~shall~~ should be smaller than the primary structure.

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Earthquake Considerations

Much of Aurora's residential architecture is wood frame in construction. The single-story wood frame house is one of the safest building types in an earthquake. Structural elements must be securely tied together to withstand an earthquake. The shaking and lateral forces of an earthquake will separate building components at their weakest points. Foundations are often the weakest area of an historic building. Some houses do not have foundations, or they have weak ones. Poured concrete perimeter wall foundations are common. Newer houses frequently have concrete slab foundations, which hold up well in an earthquake.

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The most common problem with historic architecture is that the wooden sill of the house is not properly anchored to the foundation. Foundation bolts, or cross bracing help to secure the house to the foundation, making it less vulnerable to vibration in an earthquake. House configurations that are the most vulnerable to earthquake damage are those that have:

- The house over a garage
- Many large windows and doors, particularly at building corners
- Large overhangs
- Split levels and complex geometry
- Stilts supporting the structure

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Historic wooden architecture was well built, usually with high quality materials. There are certain non-structural hazards that exist in an earthquake. Injury and damage can result from the collapse of certain building elements. These elements need to be braced to the structure, removed or relocated.

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- Weak chimneys may collapse, with bricks falling to the roof or ground.
- Unsecured water heaters can fall over and cause fires or water damage.
- Large, old and leaning trees may topple in an earthquake, or loose branches may fall.
- Large panes of glass can shatter.
- Light fixtures or hanging plants that are not properly anchored can fall or cause damage as they swing.
- Large, top-heavy furniture, bookcases or cabinets, can fall over and cause injuries or damage.

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For those that are interested, two publications are available that help to inform the home owner about some of the issues that need to be considered when preparing the old house for an earthquake and are available at the City Hall.

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Appendix A Attachment B

Map of the Aurora Colony



Figure 32. This map illustrates the boundaries of Aurora's Historic District. Note that not all areas are within the City of Aurora boundaries.

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Attachment C

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The Secretary of the Interior's Standards for the Treatment of Historic Properties

1. A property shall be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property shall be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property shall be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features shall be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. The existing condition of historic features shall be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material shall match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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Attachment D

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Definitions

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BARGEBOARD: The raking boards found at the gable of a building. Whenever the roof framework overhangs the end (gable) walls, a barge board is frequently used to cover the ends of the roof timbers. Bargeboards are often the occasion for a variety of ornamentation.

BASE: The lowest part of a building; the lowest part of a column.

BALUSTRADE: A railing or low wall consisting of a handrail on balusters (small supporting posts) and a base rail.

CAP: The top member of a column or pilaster

CLERESTORY: An upper zone of wall pierced with windows that admit light into a large room.

CONTEMPORARY: Happening in this time. This is not a style of building. Any structure of this time is "contemporary."

CONTEXT: The surrounding environment of a building or site, including other structures, site features, landscape and streets.

COPING: A capping to a wall or parapet.

CORBEL: A bracket of stone, wood, or metal projecting from the side of a wall and serving to support a cornice, the spring of an arch, a balustrade or other element.

CORNICE: A projecting ornamental molding along the top of a building crowning it.

DORMER: A window set upright in a sloping roof; the roofed projection in which this window is set.

ELEVATION: A "head-on" drawing of a building facade or object, without any allowance for perspective. An elevation drawing will be in a fixed proportion to the measurement on the actual building.

FACADES: The exterior face of a building which is considered to be the architectural front. It is distinguishable from the other sides by the use of architectural detail and ornamentation.

FASCIA: A horizontal band of vertical face trim.

FIELD REVIEW: Review performed for Administrative Approval by a board member on request of the Planning Administrator either on site and/or by contact with the applicant.

FREESTANDING SIGN: A detached sign which is supported by one or more columns, uprights or braces extended from the ground or from an object on the ground, or a detached sign which is erected on the ground.

HOOD MOLDING: A projecting molding around the top of a doorway or window to throw off the rain.

INFILL: A single parcel of developable land located within a landscape of existing structures.

LANDMARK: A prominent building or feature officially designated as having special status and protection.

LATTICE: An openwork screen or grill made of interlocking or overlapping strips.

LINTEL: A horizontal beam spanning an opening.

MOLDING: A shaped strip of wood, metal, brick, etc., usually mounted horizontally, and used as ornament on a surface of a structure.

MOTIF: An element in a composition, a principal repeated element in design.

MULLION: One of the vertical members of a window, dividing the glass.

MUTIN: An intermediate member of a door or window framework separating the panels.

PARAPET: Either the edge of the roof or the top of a wall forms the top line of the building silhouette.

PICKET: A wooden fence made from evenly spaced narrow vertical wooden stakes (pickets) that are attached to lateral boards for support near each end. The pickets are typically pointed at the top. There is space between the pickets measuring up to the width of a picket.

PORTICO: A porch or covered walk consisting of a roof supported by columns; a colonnaded porch.

PRESERVE: To keep in perfect or unaltered condition. Preservation usually included the overall form of the building, its structural system, and finishes, as well as any decorative details. Landscaping materials may also be preserved. Note that preservation of a structure may include keeping alterations and additions that have become important.

PRIMARY FACADE: The exterior face of a building which is the architectural front sometimes distinguished from the other facades by elaboration of architectural or ornamental detail.

RECONSTRUCT: To create again. A building, room or detail may be reproduced in its exact detail and appearance as it once existed. Accurate reconstruction requires good evidence of the original design. One approach to construction includes using the same construction methods as were used originally, whereas a second approach allows the use of substitute methods and materials, so long as they achieve the same visual effect as the original.

REHABILITATE: To return to useful life. Rehabilitation is the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural and cultural values.

REMODEL: To remake; to make over. In a remodeling, the appearance is changed by removing original detail and altering spaces. New materials and forms are installed. Applying a "modern" front to an older building is an example of remodeling. Often, these changes are not reversible.

RESTORE: To bring back to a previous condition. In a restoration an earlier appearance of the building is recreated, both in form and detail. Original elements that have been covered are exposed, and missing pieces replaced with new ones that match the original.

SHAFT: The main portion of a column, between the base and capital.

SHINGLE: Fish scale, diamond-back - A roofing or siding unit of wood, usually. Decorative patterns include scalloped and diamond shapes.

SIDING: Examples of the finish covering of an exterior wall on a frame building are Ship Lap, Clapboard, Board and Batten.

SILL: The horizontal bottom member of a window or door frame.

STABILIZE: To make resistant to change in condition. A building is usually stabilized to retard deterioration until it can be repaired. A weather-resistant closure, and a safe structural system are minimum stabilization efforts.

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TRANSOM: A horizontal cross bar in a window over a door or between a door and window above it. Also refers to a window above a door or other window built and often hinged to a transom.

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Attachment E

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ADA Code Compliance as it Relates to the Historic District

All building permits issued by the City of Aurora and Marion County must comply with the applicable portions of the Americans with Disabilities Act (ADA), including those building permits issued for improvement in the Historic District, subject to the appropriate waiver provisions of the ADA.

Appendix B Attachment F

Suggested Plant Material

Appendix B This is a list of plant material that is consistent with the feeling of the turn-of-the-century period. This list is not exhaustive, and plant choices do not necessarily need to be limited to what was available during the historic period, unless some sort of specific landscape restoration is desired. It is important to capture the enthusiasm, quest for plant variety, and the spirit of the period when creating an appropriate period garden.

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Trees and Shrubs for Border planting

:

Acer Macrophyllum - Oregon Maple
Arbutus Menziesi - Maclrone
Cratagus Vars - Hawthorn
Cryptomeria Japonica - Common Cryptomeia
Juniperus Viriniana - Red Cedar
Liguid Amber Syraciflua - Sweet Gum
Pseudotsuga Douglasi - Douglas Fir
Taxodium Distichum - Common Baldcypress

Tall Shrubs

Camellia Japonica - Common Camellia
Caragana Arborescens - Siberian Pea Tree
Euonymus Europaeus - European Burningbush
Ilex Opaca - American Holly
Laurocerasus Officinalis - English Cherry Laurel
Rhamnus Dahurica - Dahurian Buckthorn
Rhododendron Vars - Rhododendron
Tamarix Parviflora - Tammarix
Viburnam Vars - Viburnam

Perennials Border Planting

Anemone Japonica - Japenese Anemone
Aster Vars - Aster
Campanula Vars - Bellflower
Chrysanthemum Vars - Chrysanthemum
Digitalis Vars - Foxglove
Helenium Vars - Sneezeweed

Lupinus Polyphyllus - Washington Lupine
Iris Vars - Iris
Paeonia Vars - Peony
Phlox Paniculata - Garden Phlox
Primula Vars - Primrose
Rosa Vars - Rose

Medium Shrubs

Abelia Grandiflora - Glossy Abelia
Acuba Japonica - Japanese Acuba
Azalea Vars - Azalea
Berberis Darwini - Darwin Barberry
Buddleia Davidi - Orange-Eye Butterfly Bush
Buxus Sempervirens - Common Box
Chosya Ternata - Mexican Orange
Cytisus Scoparius - Scotch Broom
Kalmia Latifolia - Mountain Laurel
Leucothoe Catesbae - Drooping Leucothoe
Lonicera Fragrantissima - Winter Honeysuckle
Pieris Floribunda - Mountain Andromeda
Spiraea Vars - Spirea

Low Shrubs

Daphne Cneorum - Rose Daphne
Erica Vars - Heather
Rosa Vars - Rose

Commercial and Highway Vegetation OR ANY OTHER AREAS WHERE WATER IS LIMITED

Historically appropriate commercial and highway vegetation includes:

Acer Circinatum – Vine Maple
Arctostaphylos uva ursi Massachusetts Variety – Kinnickinnick
Cistus Corbariensis – Rock Rose
Gaultheria Shallon – Salal
Lavendula ‘Hicote’ – Lavender
Mahonia Aquifolium – Oregon Grape
Mahonia Aquifolium compacta – Compact Oregon Grape
Myrica Californica – Pacific Wax Myrtle
Populus Tremuloides – Quaking Aspen
Psuedotsuga Menisci – Douglas Fir
Rosa Gymnocarpa – Bald hip Wild Rose

Rosa Rugosa Alba – Rugosa Rose

Victorian Landscapes

Some elements of the Victorian Landscape might include:

Bedding Area	Traditionally filled with low or medium height colorful annual plants and shrubs. They are often arranged in patterns and designs, much like a carpet pattern.
Rock Garden	The “Rockery” is a combination of ornamental rocks and plants positioned to create a natural-looking landscape. This can include the use of alpine or coastal plant species.
Rose Garden	The “Rosarium” is a portion of the garden devoted to the rose. A collection can be extensive and include old fashioned or hybrid species.
Cut Flowers	This type of planting bed usually focuses on using different species of perennials, biennials and annuals to provide fresh flowers for the house and spectacular year-round color in the garden.
Kitchen Garden	This garden provides herbs, basic fruits and vegetables for home use. It is often screened from view by other ornamental plantings. Many homes grew a vegetable garden in the historic period.
Specialty	Specialty gardens are those that conform to a specific theme, like a white or blue garden, or a herb knot garden. Choosing a color theme presents a challenge as the owner attempts to accomplish all plantings using one color, like white. A knot garden presents an elaborate knot pattern using plant materials, like sage and lavender

Appendix ~~C~~ Attachment G

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Local, State and Federal Incentives

Local-City ~~Loan-Grant~~ Programs

You may be eligible for a City ~~subsidized loan grant~~ program CLG (certified Local Government Grants) that provides monies for rehabilitation in combination with ~~regular financing~~ financing 50% grant match from you. These grants are annual and are of limited dollars. Check with City hall for more information.

~~Currently, Aurora does not have a City subsidized loan program. Any future programs will be only for buildings which are:~~ Structures must be of Contributing status.

1. Located in the Aurora's Historic District, and
2. In need of rehabilitation (the work must be directly related to the facade or a distinctive interior space), and
3. Reviewed and recommended by the HRB.

State Property Tax Freeze

~~However, p~~Property owners of historic-Contributing status buildings may look to the State for financial assistance. A Statewide Program which utilizes a tax assessment freeze is also available for residential and income producing properties. This program is considerable help to the property owner who is beginning improvements on their building. Oregon Law (ORS 358.475-388.545) allows owners of historic properties on the National Register of Historic Places to receive a freeze on the tax assessment of their building for 15 consecutive years at the true cash value of the property at the time of initial application.

Eligible property owners, in turn, agree to open their properties to the public at least once a year, maintain their property in a condition at least as good as the condition of the property at the time it was approved by the State Historic Preservation Office for special assessment, and also allow this office to review proposed alterations. If an owner fails to comply with these terms, the special assessment can be revoked and all the savings plus a penalty of 15% of those savings must be paid by the property owner. Projects that include any exterior changes must follow AMC 17.40 and be approved by the city.

Federal Tax Incentives

The Economic Recovery Act (ERTA) provides an investment tax credit for "substantial" rehabilitation of income producing properties (commercial, industrial, and residential rental buildings). The rehabilitation must be "certified", which means that the rehabilitation must comply with the *Secretary of the Interior's Standards for Rehabilitation*. It must be consistent with the historic character of the property and the district where the property is located. Rehabilitation is reviewed by the Oregon State Historic Preservation Office in Salem and by the National Park Service in San Francisco for compliance with the Secretary's Standards.

Appendix D Attachment H

Historic Preservation Organizations

For a list of National, State and Local Historic Preservation organizations, contact the State Office of Historic Preservation or the Historic Preservation League of Oregon.

State Historic Preservation Office
Oregon Parks and Recreation Dept.
1115 Commercial St. NE
Salem, OR 97310-1001
(503) 378-5001
www.prd.state.or.us/services.shpo

Historic Preservation League of Oregon
PO Box 40053
Portland OR 97240
(503) 243-1923
www.oldhouse.com/hplo/

Oregon Historical Society
1200 SW Park Ave.
Portland, OR 97205-2483
(503) 221-2035
www.ohs.org

Historic Churches

Inspecting and Maintaining Religious Properties, *Signs of Grace* (video), and *Common Bond* are all aids produced to facilitate the rehabilitation of historic churches. They are available from the New York Landmarks Conservancy.

New York Landmarks Conservancy
141 Fifth Avenue
New York, New York 10010
(212) 995-5260
www.nylandmarks.org

Appendix E

Acting Authority of the Historic Review Board

See Title 8 of City of Aurora Development Code Adopted February 2002.

Appendix F

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Appendix G

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Appendix H

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10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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Attachment I Appendix I

AURORA COLONY STYLE

WILLIAM FRY HOUSE
21611 Main Street
Built c. 1870; Original Site

AURORA COLONY STYLE

EMMA GIESY—GEORGE KRAUS HOUSE, “KRAUS HOUSE”
Located on 2nd and Liberty as part of the museum complex.
Built c. 1870; Original location was at 3rd and Main Streets.



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AURORA COLONY STYLE

CHARLES SNYDER HOUSE
14996 3rd Street
Built c. 1870; Original Site



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POST COLONY STYLE

JACOB MILLER HOUSE
15009 2nd Street
Built c. 1890; Original Site



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QUEEN ANNE STYLE

ANTON WILL HOUSE
Third and Liberty Street
Built c. 1897; Original Site



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QUEEN ANNE STYLE

Christian Zimmerman House
21514 Liberty Street
Built c. 1900; Original Site



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QUEEN ANNE STYLE

21383 Liberty Street
Built c. 1890; Original Site



POST COLONY AND ITALIANATE STYLE

GEORGE MILLER HOUSE
21358 Highway 99E
Built c. 1890; Original Site



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BUNGALOW STYLE (CRAFTSMAN)

Corner of Liberty Street & Bob's Avenue
Built c. 1915; Original Site



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Attachment J

Bibliography

Many of the following bibliography items can be found at the Historic Preservation League of Oregon, the State Historic Preservation Office, (see *Appendix J* for addresses) and the Oregon Historical Society in Portland.

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Whiffen, Marcus. *American Architecture Since 1780, A Guide to the Styles*. Cambridge, Massachusetts: The M.I.T. Press, 1969.

Periodicals

APT Bulletin and Communique

Association for Preservation Technology
904 Princess Anne Street
P.O. Box 8178
Fredericksburg, Virginia 22404

Fine Homebuilding

The Taunton Press
Newtown, Connecticut 06470

Historic Preservation Magazine,

National Trust for Historic Preservation
1785 Massachusetts Avenue, N.W.
Washington, DC 20036

Landscape Architecture

American Society of Landscape Architects
4401 Connecticut Avenue, N.W.
5th Floor
Washing D.C. 20008-2302

Material Culture

Pioneer America Society
c/o Department of Earth Sciences
Southeast Missouri State University
Cape Girardeau, Missouri 63701

The Old House Journal

935 9th Street
Brooklyn, New York, 11215

Preservation Briefs Series

Technical Preservation Services
U.S. Government Printing Office
U.S. Department of the Interior
Washington, D.C.

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Attachment K

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City of Aurora Design Review ~ Guidelines for Historic Properties

Avante Garis Book
Hills Manual of Business Forms and Guide

Classica-Roman
Hills Manual of Business Forms

Courier
Hills Manual of Business Forms

Cloakans-Bold
Hills Manual of Business Forms and Guide

Domestic Typer
Hills Manual of Business Forms and

Elite
Hills Manual of Business Forms

Fox Trot Medium
Hills Manual of Business Forms and Guide

Garamond-Roman
Hills Manual of Business Forms and Guide

Garth Graphic ATT-Bold
Hills Manual of Business Forms and

Heritage-Bold
Hills Manual of Business Forms

New Century Schoolbook-Roman
Hills Manual of Business Forms and

Palatino-Roman
Hills Manual of Business Forms and Guide

Resid-Normal
Hills Manual of Business Forms and Guide

Sans-Light Condensed
Hills Manual of Business Forms and Guide

Souvenir
Hills Manual of Business Forms and Guide

Stymie-Light
Hills Manual of Business Forms and Guide

Tab Type Condensed-Regular
Hills Manual of Business Forms and Guide

Italic Card Types

Goudy Old Style-Regular Italic
Hills Manual of Business Forms and Guide

Helvetica Narrow-Italic
Hills Manual of Business Forms and Guide

Kannon Italic
Hills Manual of Business Forms and Guide

AGaramond-Serifbold Italic
Hills Manual of Business Forms and Guide

Albustross-Italic
Hills Manual of Business Forms and Guide

Sanset-Italic
Hills Manual of Business Forms and Guide

Chopin-Italic (Caston Open Face)
Hills Manual of Business Forms and Guide

Dubiel-Italic
Hills Manual of Business Forms and Guide

Frugal Sans-Light Italic
Hills Manual of Business Forms and Guide

Ornamental Card Types

Scotoni Open
Hills Manual of Business Forms and Guide

(Ord. 419 § 23D, 2002; Ord. 416 § 8.50.130, 2002)

Enrolled
Senate Bill 1573

Sponsored by Senator BEYER (Pre-session filed.)

CHAPTER

AN ACT

Relating to boundary changes; and declaring an emergency.

Be It Enacted by the People of the State of Oregon:

SECTION 1. Section 2 of this 2016 Act is added to and made a part of ORS 222.111 to 222.180.

SECTION 2. (1) This section applies to a city whose laws require a petition proposing annexation of territory to be submitted to the electors of the city.

(2) Notwithstanding a contrary provision of the city charter or a city ordinance, upon receipt of a petition proposing annexation of territory submitted by all owners of land in the territory, the legislative body of the city shall annex the territory without submitting the proposal to the electors of the city if:

(a) The territory is included within an urban growth boundary adopted by the city or Metro, as defined in ORS 197.015;

(b) The territory is, or upon annexation of the territory into the city will be, subject to the acknowledged comprehensive plan of the city;

(c) At least one lot or parcel within the territory is contiguous to the city limits or is separated from the city limits only by a public right of way or a body of water; and

(d) The proposal conforms to all other requirements of the city's ordinances.

(3) The territory to be annexed under this section includes any additional territory described in ORS 222.111 (1) that must be annexed in order to locate infrastructure and right of way access for services necessary for development of the territory described in subsection (2) of this section at a density equal to the average residential density within the annexing city.

(4) When the legislative body of the city determines that the criteria described in subsection (2) of this section apply to territory proposed for annexation, the legislative body may declare that the territory described in subsections (2) and (3) of this section is annexed to the city by an ordinance that contains a description of the territory annexed.

SECTION 3. This 2016 Act being necessary for the immediate preservation of the public peace, health and safety, an emergency is declared to exist, and this 2016 Act takes effect on its passage.

Passed by Senate March 1, 2016

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Lori L. Brocker, Secretary of Senate

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Peter Courtney, President of Senate

Passed by House March 3, 2016

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Tina Kotek, Speaker of House

Received by Governor:

.....M,....., 2016

Approved:

.....M,....., 2016

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Kate Brown, Governor

Filed in Office of Secretary of State:

.....M,....., 2016

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Jeanne P. Atkins, Secretary of State